



# MUNICIPAL DISTRICT OF GREENVIEW No. 16

## MUNICIPAL PLANNING COMMISSION REGULAR MEETING AGENDA

Wednesday, June 14, 2023

9:00 AM

Administration Building and Zoom  
Valleyview AB

#1  
CALL TO ORDER

#2  
ADOPTION OF AGENDA

#3  
MINUTES

3.1 ADOPTION OF MUNICIPAL PLANNING COMMISSION REGULAR MEETING MINUTES HELD MARCH 15, 2023 3

3.2 BUSINESS ARISING FROM MINUTES

3.2.1 REQUIRED FIRST READING 7

#4  
DELEGATIONS

4.1 D23-070 / ALEXANDER MOORE / VARIANCE / SW 12-71-1-W6M / DEBOLT AREA  
- ALEXANDER MOORE

4.2 D23-073 / LITTLE BUDDY'S RENTALS LTD / HOME OCCUPATION - MAJOR / SE-8-070-06-W6M / GROVEDALE AREA  
- SHALON STEENHART

#5  
BUSINESS

SUBDIVISIONS – NONE

#6  
BUSINESS

6.1 D23-006 / SECURE ENERGY INC/ LANDFILL, INDUSTRIAL – DISCRETIONARY USE / NE 24-69-6-W6M / GROVEDALE AREA 11

6.2 D23-067 / ENFINITE CORPORATION MASKWA ENVIROMENTAL CONSULTING LTD/UTILITIES, MAJOR – DISCRETIONARY USE / NW 8-69-8-W6M / GROVEDALE AREA 43

6.3 D23-080 / ALEXANDER MOORE /DETACHED GARAGE - VARIANCE / SW-12-72-1-W6M / DEBOLT AREA 59

6.4 D23-073 / DWIGHT & SHALON STEENHART - LITTLE BUDDY'S RENTALS LTD / HOME OCCUPATION - MAJOR - DISCRETIONARY USE / SE-8-70-6-W6M / GROVEDALE AREA 85

#7  
NEXT MEETING

JULY 12, 2023

#8  
ADJOURNMENT



Minutes of a  
**MUNICIPAL PLANNING COMMISSION REGULAR MEETING**  
**MUNICIPAL DISTRICT OF GREENVIEW NO. 16**  
 Greenview Administration Building [and Zoom]  
 Valleyview, Alberta, on Wednesday, March 15, 2023

- #1**  
**CALL TO ORDER**  
 Chair Dale Smith called the meeting to order at 9:00 a.m.
- PRESENT**
- |            |  |                    |
|------------|--|--------------------|
| Chair      |  | Dale Smith         |
| Vice-Chair |  | Sally Rosson       |
| Member     |  | Dave Berry         |
| Member     |  | Winston Delorme    |
| Member     |  | Ryan Ratzlaff      |
| Member     |  | Christine Schlieff |
| Member     |  | Jennifer Scott     |
| Member     |  | Bill Smith (Zoom)  |
| Member     |  | Tom Burton         |
| Member     |  | Duane Didow        |
| Member     |  | Tyler Olsen        |
- ATTENDING**
- |   |  |                   |
|---|--|-------------------|
| Director, Planning & Economic Development |  | Martino Verhaeghe |
| Director, Infrastructure & Engineering    |  | Roger Autio       |
| Acting Manager, Planning & Development    |  | Nicole Friesen    |
| Municipal Planner                         |  | Jan Sotocinal     |
| Recording Secretary                       |  | Nancy Harris      |
- GUESTS**
- Baily Lapp (S22-025)
- #2**  
**AGENDA**  
 MOTION: 23.03.16 Moved by: Vice Chair Sally Rosson  
 That the March 15, 2023, agenda be adopted as presented.
- CARRIED**
- #3**  
**MINUTES**  
**3.1 MINUTES OF REGULAR MEETING**
- MOTION: 23.03.17 Moved by: Member Jennifer Scott  
 That the minutes of the Municipal Planning Commission regular meeting held on  
 February 15, 2023, be adopted as presented.
- CARRIED**
- #4**  
**DELEGATIONS**  
 NONE
- #5**  
**SUBDIVISIONS**  
**5.1 S22-025 / BEAIRSTO & ASSOC / CRICHTON / FIRST PARCEL OUT / SW 15-69-08-W6M / GROVEDALE AREA**

Acting Manager, Planning & Development Nicole Friesen presented an overview of the first subdivision within SW 15-69-8-W6M being a yard site separation 4.99 ha (12.33 ac) in size. The property is zoned Agricultural One (A-1) District.

**SW 15-69-08-W6M**

MOTION: 23.03.18 Moved by: Member Jennifer Scott

That the Municipal Planning Commission APPROVE subdivision application S22-025 for the creation of a 4.99-hectare (12.33-acre) ± lot within the parcel legally described as SW 15-69-8-W6M, subject to the conditions listed below:

**Conditions:**

1. The applicant shall submit to the MD of Greenview No. 16, a Plan of Survey suitable for registration with Alberta Land Titles. The size and location of the subdivided parcel shall be as per the approved tentative plan.
2. The applicant shall pay a final subdivision endorsement fee, in accordance with the MD of Greenview No. 16's Schedule of Fees Bylaw 22-930.
3. The applicant shall pay all taxes owing to the MD of Greenview No. 16, up to the year in which the subdivision is to be registered, prior to signing the final subdivision endorsement documents.
4. The applicant shall provide the MD of Greenview No. 16 with a report, from an agency accredited by the Safety Codes Council, showing:
  - a. the on-site sewage disposal system for the proposed lot complies with the requirements of the Alberta Private Sewage Standards of Practice; or
  - b. a variance to the requirements has been approved; or
  - c. the relocation or replacement of the on-site sewage disposal system meeting the requirements of the Alberta Private Sewage Standards of Practice.

All associated costs shall be the responsibility of the applicant.

5. The applicant shall apply and pay all applicable fees in accordance with the Schedule of Fees Bylaw 22-930 for the construction of a gravel approach to the remainder of SW 15-69-8-W6M. The MD of Greenview No. 16 reserves the right to determine the date of construction of the approach.
6. In accordance with Policy 6003, road widening of 5.03 metres along the proposed subdivision frontage of Range Road 83 and a 15.0-metre corner cut at the intersection of Highway 666 and Range Road 83 shall be dedicated and road widening of 5.03 metres along the remnant lands of SW 15-69-8-W6M along Range Road 83 shall be sold to the MD of Greenview No. 16 in accordance with Schedule of Fees Bylaw 22-930. The road widening and corner cut shall be registered as road within the Plan of Survey for the subdivision at no expense to the MD of Greenview No. 16.

**Advisory Notes:**

1. You may be located in the vicinity of an agricultural operation.

2. No development, construction, or site work is allowed without an approved Development Permit from Greenview.

**CARRIED**

**#5  
SUBDIVISIONS**

**5.2 S23-002 / BORDERLINE SURVEYS LTD / BUCHANAN / FIRST PARCEL OUT /  
SE 14-75-24-W5M / PUSKWASKAU AREA**

Municipal Planner Jan Sotocinal presented an overview to subdivide an 8.10-ha (20.00-ac) parcel containing a seasonal cabin site at SE 14-75-24-W5M. The property is zoned Agricultural One (A-1) District.

**SE 14-75-24-W5M**

MOTION: 23.03.19 Moved by: Member Tom Burton  
That the Municipal Planning Commission APPROVE subdivision application S23-002 for the creation of a 8.10-hectare (20-acre) ± lot within the parcel legally described as SE 14-75-24-W5M, subject to the conditions listed below:

**Conditions:**

1. The applicant shall submit to the MD of Greenview No. 16, a Plan of Survey suitable for registration with Alberta Land Titles. The size and location of the subdivided parcel shall be as per the approved tentative plan.
2. The applicant shall pay a final subdivision endorsement fee, in accordance with the MD of Greenview No. 16's Schedule of Fees Bylaw 22-930.
3. The applicant shall pay all taxes owing to the MD of Greenview No. 16, up to the year in which the subdivision is to be registered, prior to signing the final subdivision endorsement documents.
4. The applicant shall apply and pay all applicable fees in accordance with the Schedule of Fees Bylaw 22-930 for the construction of a gravel approach to the remainder of SW 14-75-24-W5M. The MD of Greenview No. 16 reserves the right to determine the date of construction of the approach.

**Advisory Notes:**

1. You may be located in the vicinity of an agricultural operation.
2. No development, construction, or site work is allowed without an approved Development Permit from Greenview.

**CARRIED**

**#6  
DEVELOPMENT  
PERMITS**

**NONE**

**#7**  
**NEXT MEETING**

Wednesday, April 12, 2023

**#8**  
**ADJOURNMENT**

MOTION: 23.03.20 Moved by: Member Ryan Ratzlaff  
That the meeting be adjourned at 9:24 a.m.

**CARRIED**

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CHAIR  
DALE SMITH

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DIRECTOR, PLANNING & ECONOMIC DEVELOPMENT  
MARTINO VERHAEGHE

UNADOPTED



## REQUEST FOR DECISION

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SUBJECT: **Required First Reading**

SUBMISSION TO: MUNICIPAL PLANNING COMMISSION      REVIEWED AND APPROVED FOR SUBMISSION

MEETING DATE: March 3, 2022      DIRECTOR: MAV      PRESENTER: SD

REPORT TYPE: Information      MANAGER: SD      WRITER: SD

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### BACKGROUND:

This report is being provided to MPC to ensure council is made aware of findings regarding the processing of bylaws where a public hearing is required under the Municipal Government Act, such as land use bylaw amendments. A recent decision by Council to reject a land use amendment application at first reading, prior to any public hearing, appears to contravene administrative law. Administrative law upholds the concept that any person having a decision made affecting them (such as a land use amendment on their property) has the right to plead their case before the decision-making authority before a decision is rendered. Advice received during a law seminar with Brownlee LLP confirmed that previous court rulings have found an applicant proposing a bylaw amendment is entitled to a public hearing.

While the Municipal Government Act doesn't specify the sequence of the first reading and the public hearing, it's critical that, where one is required, a public hearing precedes any refusal of bylaw to ensure we are meeting the requirements of administrative law practices. This also ensures Council has a thorough understanding and consideration of all perspectives related to the proposed change.

Therefore, Staff recommends during future Bylaw proposals Council consider passing the first reading and subsequently conducting a public hearing for any bylaw where a public hearing is required. Alternatively, if there's no support for the first reading, it would be advised Council deferred first reading until after a public hearing is scheduled and held. This approach will maintain transparency, fairness, and equitable treatment of all involved parties.

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### RELEVANT LEGISLATION AND POLICY CONSIDERATIONS:

#### **Municipal Government Act**

##### Section 187 (1)

*Every proposed bylaw must have 3 distinct and separate readings.*

##### Section 216.4 (1)

*When this or another enactment requires council to hold a public hearing on a proposed bylaw or resolution, the public hearing must be held, unless another enactment specifies otherwise,*

- (a) before second reading of the bylaw, or*
- (b) before council votes on the resolution*

##### Section 606 (1-6)

*(1) The requirements of this section apply when this or another enactment requires a bylaw, resolution, meeting, public hearing, or something else to be advertised by a municipality, unless this or another enactment specifies otherwise.*

- (2) Notice of the bylaw, resolution, meeting, public hearing, or other thing must be
- (a) published at least once a week for 2 consecutive weeks in at least one newspaper or other publication circulating in the area to which the proposed bylaw, resolution or other thing relates, or in which the meeting or hearing is to be held,
  - (b) mailed or delivered to every residence in the area to which the proposed bylaw, resolution or other thing relates, or in which the meeting or hearing is to be held, or
  - (c) given by a method provided for in a bylaw under section 606.1.
- (3) A notice of a proposed bylaw must be advertised under subsection (2) before second reading.
- (4) A notice of a proposed resolution must be advertised under subsection (2) before it is voted on by council.
- (5) A notice of a meeting, public hearing or other thing must be advertised under subsection (2) at least 5 days before the meeting, public hearing or thing occurs.
- (6) A notice must contain
- (a) a statement of the general purpose of the proposed bylaw, resolution, meeting, public hearing, or other thing,
  - (b) the address where a copy of the proposed bylaw, resolution or other thing, and any document relating to it or to the meeting or public hearing may be inspected,
  - (c) in the case of a bylaw or resolution, an outline of the procedure to be followed by anyone wishing to file a petition in respect of it, and
  - (d) in the case of a meeting or public hearing, the date, time, and place where it will be held

#### Section 692(1)

Before giving second reading to

- (a) a proposed bylaw to adopt an intermunicipal development plan,
  - (b) a proposed bylaw to adopt a municipal development plan,
  - (c) a proposed bylaw to adopt an area structure plan,
  - (d) a proposed bylaw to adopt an area redevelopment plan,
  - (e) a proposed land use bylaw, or
  - (f) a proposed bylaw amending a statutory plan or land use bylaw referred to in clauses (a) to (e),
- a council must hold a public hearing with respect to the proposed bylaw in accordance with section 216.4 after giving notice of it in accordance with section 606.

#### **Bylaw No. 21-876**

##### 10. Public Hearing

10.2 If a Public Hearing is required on any proposed bylaw or resolution, the Public Hearing must be held before second reading of the bylaw or before Council votes on the resolution.

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RECOMMENDED ACTION:

**MOTION: That the Municipal Planning Commission accept this report as information.**

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ALTERNATIVES:

**Alternative #1:** The Municipal Planning Commission uses this information on a go forward basis for all planning bylaw that require a public hearing.

**Alternative #2:** The Municipal Planning Commission may ask Administration to make changes to the format with which Council hears bylaw amendments.



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**FINANCIAL IMPLICATION:**

There are no financial implications.

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**STAFFING IMPLICATION:**

There are no staffing implications to the recommended motion.

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**PUBLIC ENGAGEMENT LEVEL:**

Greenview has adopted the IAP2 Framework for public consultation.

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**FOLLOW UP ACTIONS:**

No follow up action is required by the Municipal Planning Commission.

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# REQUEST FOR DECISION

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SUBJECT: **Discretionary Use – Landfill, Industrial Expansion**  
SUBMISSION TO: MUNICIPAL PLANNING COMMISSION REVIEWED AND APPROVED FOR SUBMISSION  
MEETING DATE: June 14, 2023 DIRECTOR: MAV PRESENTER: SD  
REPORT TYPE: **Development Permit** MANAGER: SD WRITER: SD

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FILE NO.: D23-006 LAND USE DISTRICT: Crown Land  
LEGAL LOCATION: NE 24-69-06-W6M  
AREA: Grovedale  
APPLICANT/SURVEYOR: Secure Energy Services  
LANDOWNER: Crown

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## BACKGROUND/PROPOSAL:

This application came in January 2023, and it was then identified as a landfill to Administration and not an Oilfield Waste Management Facility. In reviewing the land file and the province's requirements for landfills versus Oilfield Waste Management Facility, it was decided that a Land Use Bylaw (LUB) Amendment was necessary.

The LUB Amendment first came to Council on March 28, 2023, and received second and third readings on April 25, 2023. Notification was then sent to the applicant that the LUB amendment had passed, and that they could go ahead with the processing of their development permit.

The proposed use fits the definition of Landfill, Industrial which is a discretionary use within the Crown Land (CL) District for which the property is zoned. The definition of Landfill, Industrial within the Land Use Bylaw 18-800 is:

**LANDFILL, INDUSTRIAL** means a site used for the disposal of non-domestic or industrial solid waste which may not be disposed of at a sanitary landfill and is not intended for use by the public at large. For the purpose of this Bylaw, this includes contaminated soil remediation (land farm) operations.

The applicant has received approval from Alberta Environment and Protected Areas (AEP) for the cell expansion and has worked diligently to be able to get approval from the MD. Attached to this report is their application with approvals.

The site is located off of Highway 40 south of Grande Prairie and Ainsworth OSB Mill. The area where they are located is surrounded by Crown Land and isolated from other development. Big Mountain Creek runs through the quarter section that this development sits on

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## PROPERTY DETAILS:

Proposed Servicing:	N/A
Soil Type:	Orthic Luvisol
Topography:	Undulating – low relief
Wetland Inventory:	Marsh and Swamp
LSRS Spring Grains:	7WVB (10) Soils in which excess water (not due to inundation) limits the production. Soils with a pH value either too high or too low for optimal growth. Organic soils in which the degree of decomposition of the organic material is not optimum for production.

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RELEVANT LEGISLATION AND POLICY CONSIDERATIONS:

**Municipal Government Act**

*Section 619 – see attachment*

The proposed facility is subject to an approval granted by the Alberta Environment and Parks (AEP). AEP is not exempt under S619. The MPC may require additional conditions of approval that are not covered under AEP Approval ##239576-01-00.

**Municipal Development Plan**

*Section 8.3.2*

*When reviewing proposals for development on Crown land, consideration shall be given to the following:*

- a) Adjacent land uses;*
- b) Provision of water, sewer, and emergency and community services;*
- c) Access; and*
- d) Environmental impacts.*

This is an existing facility and there are no adjacent uses. This site is surrounded by crown land adjacent to HWY 40 and no services are required. Additionally, Alberta Transport has given approval for the current access.

**Area Structure Plan – Grovedale**

*Section 4.5.6 Heavy Industry*

*Heavy industrial activity in both the forestry and oil and gas sector will continue to play an important and valuable contribution in the local and regional economy; as such, existing and future heavy industrial areas need to be protected in order to manage land use conflicts between heavy industrial and non-industrial activities while facilitating the growth and expansion of the heavy industrial sector.*

*Policy*

- 1. Promote the continued growth and expansion of the heavy industrial sector along Highway 40.*
- 2. Limit land use conflicts with non-industrial land uses by working with industry to minimize any off-site nuisances that may impact adjacent lands.*
- 3. Work with the Crown to encourage that future heavy industrial development be completed in an environmentally sensitive manner.*

4. *Encourage synergies between industrial users by encouraging the Crown to limit industrial users to the areas defined for heavy industrial use.*

As this development is along HWY 40 and a current heavy industrial site, it complies with the Area Structure Plan.

**Land Use Bylaw (18-800)**

*Section 8.17 - Crown Land Districts*

*Discretionary Uses – Landfill, Industrial*

The use Landfill, Industrial is a discretionary use and as such must be approved through the Municipal Planning Commission.

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**RECOMMENDED ACTION:**

**MOTION: That the Municipal Planning Commission APPROVE Development Permit application D23-006 – Landfill, Industrial - Expansion, subject to the following conditions:**

1. **A permit from Alberta Safety Codes Authority is required for all fuel tanks located on the site and must be submitted to Greenview.**
2. **A stormwater management plan must be submitted showing that no deleterious materials will be allowed to enter any watercourse.**
3. **The applicant must obtain approval from Alberta Environment and Parks prior to the construction or commencement of any development. The applicant must adhere to all other conditions as set by AEP Approval #239576-01-00.**
4. **Stripping of vegetation or grading shall be done in a manner which will minimize soil erosion by ensuring the extent of the disturbed area and the duration of exposure is minimal.**

**Standards:**

1. **Prior to construction or commencement of any development it is the responsibility of the applicant to ensure they obtain all necessary permits required by Alberta Safety Codes Authority, including but not limited to Building, Gas, Plumbing and Electrical permits, in accordance with the Safety Codes Act of Alberta.**

**Notes:**

1. **This permit indicates that only the development to which it relates is authorized pursuant to the provisions of the Land Use Bylaw. Compliance with the provisions of Land Use Bylaw 18-800 does not exempt the applicant from compliance with any provincial, federal, or other municipal legislation.**
2. **All development must conform to the conditions of this development permit and the approved plans, and any revisions as required pursuant to this approval. Any subsequent changes, amendments, or additions to this development permit shall require a new development permit application, including but not limited to, an expansion or intensification of the use.**

3. This development permit is valid upon the decision being advertised in accordance with Greenview's Advertising Bylaw and no appeal against said decision being successful.
4. Any future expansion of the business or site area will require the applicant to apply for a new development permit and will require approval.
5. The applicant is responsible for weed control. Contact Greenview's Agricultural Fieldman at 780.524.7602 for further information.

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ALTERNATIVES:

**Alternative #1:** The Municipal Planning Commission may refuse the application, a reason for refusal must be stated. Administration does not recommend this option as the proposal complies with the requirements of the Land Use Bylaw, Area Structure Plan, and Municipal Development Plan.

**Alternative #2:** The Municipal Planning Commission may table the application to the next regular meeting or until additional information is received. Administration does not recommend this option as the applicant has provided all information required to provide a decision.

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PUBLIC ENGAGEMENT LEVEL:

Greenview has adopted the IAP2 Framework for public consultation.

The Municipal Government Act requires that applications for discretionary use development permits be circulated for a minimum of 21 days following issuance of the decision.

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FOLLOW UP ACTIONS:

No follow up action is required by the Municipal Planning Commission. Following the decision, the applicant and adjacent landowners will be notified of the decision. This decision will be advertised on Greenview's website and social media for two weeks.

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ATTACHMENTS:

- Permit Application
- Site Plan
- MGA – Section 619
- AGRASID Map
- Wetland Inventory Map
- Topography Map
- Owner Location Map
- Provided under separate cover – AEP Approval #239576-01-00

# DEVELOPMENT PERMIT APPLICATION – CROWN LAND



MUNICIPAL DISTRICT OF GREENVIEW NO. 16  
 4806 36 Avenue PO Box 1079  
 Valleyview, AB T0H 3N0  
 Phone: 780.524.7600  
 www.mdgreenview.ab.ca

**MUNICIPAL DISTRICT  
 OF GREENVIEW No. 16**  
**RECEIVED**  
January 18, 2023  
**VALLEYVIEW**

FOR ADMINISTRATIVE USE ONLY	
Appl. # <b>D23-006</b>	Roll # <b>315823</b>
Fees \$ <b>1650.00</b>	Pd #
Land Use District <b>Crown Land (CL)</b>	
Proposed Use <b>Landfill, Industrial Cell 6 Expansion</b>	
<input checked="" type="checkbox"/> Permitted	<input type="checkbox"/> Variance
<input type="checkbox"/> Discretionary	<input type="checkbox"/> Prohibited
Development Officer <b>Samantha Dyck</b>	

I/We understand that this application will only be processed if submitted in complete form and accompanied by the applicable fee. A completed application includes the forms completely filled out, signatures, site plan, fees and any other information the development authority deems necessary to make an informed decision.

Applicant Information	
Applicant: [REDACTED]	
Mailing address: [REDACTED]	City: [REDACTED] PC: [REDACTED]
Primary phone: [REDACTED]	Other phone: [REDACTED]
Email: [REDACTED]	(By providing an email address, you authorize Planning and Development to contact you via email)
<i>(Complete if different from applicant)</i>	
Registered landowner(s) or leaseholder(s): _____	
Mailing address: _____	City: _____ PC: _____
Primary phone: _____	Other phone: _____
Email: _____	(By providing an email address, you authorize Planning and Development to contact you via email)

Land Information	
Legal description of proposed development site:	LSD/QTR <u>NE</u> SEC <u>24</u> TWP <u>069</u> RGE <u>06</u> M <u>6</u>
Registered Plan _____	Block _____ Lot _____ Lease Number <u>MLL 070082</u>
Property size: <u>50.864</u> Hectares (ha) &/or _____ Acres	
Description of the existing use of the land: Class II Industrial Landfill (EPEA Approval No. 239576-01-00). Construction of Cell 6	
This land is adjacent to: Highway No. _____ District road _____ LOC # <u>053810</u>	

Development Information	
Describe the proposed use of the land <i>(if additional space is required, please attach a separate sheet)</i> : A new landfill cell in our Alberta Government approved footprint.	
Check any proposed development(s) that apply:	
<input type="checkbox"/> Work camp	<input type="checkbox"/> Work camp renewal
<input type="checkbox"/> Sand and gravel pit	<input type="checkbox"/> Office trailer
Maximum # of occupants _____	# of buildings _____
<input type="checkbox"/> Compressor _____ HP	<input type="checkbox"/> Gas plant
<input type="checkbox"/> Storage site	<input checked="" type="checkbox"/> Other
*A road access map with directions <b>must</b> be provided. Attached? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Type of sewage system: _____	Where is effluent disposed? _____
If a holding tank is used, to which off-site location is effluent trucked? _____	
Construction start date: <u>Apr 1, 2023</u>	End date: <u>Oct 31, 2023</u> Completed project cost <u>\$3,300,000</u>
Has development commenced? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

## DEVELOPMENT PERMIT APPLICATION – CROWN LAND

### Abandoned Well Information

**\*ALL development permit applications require that the applicant provide a printout of an abandoned well site map from Alberta Energy Regulator** If you require any assistance, please contact AER: Phone 1.855.297.8311, email [inquiries@aer.ca](mailto:inquiries@aer.ca) or see [www.aer.ca](http://www.aer.ca).

Please note:

- The location of all abandoned oil and gas well sites as well as setback distances in relation to existing or proposed building sites must be shown on all applications.
- A printout must be provided even if there is no abandoned well.
- The development authority cannot approve a development permit application if the lot does/lots do not comply with the setback directed by AER Directive 079: Surface Development in Proximity to Abandoned Wells.

Is there an abandoned well or pipeline on the property?     Yes     No

Licensee name: \_\_\_\_\_

### Operation Details

Size of compressor: \_\_\_\_\_ HP    Expected to flare?     Yes     No

Production type:     Sweet gas     Oil     Natural gas liquid (NGL)     Sour gas

Level:     1     2     3     4

### Declaration

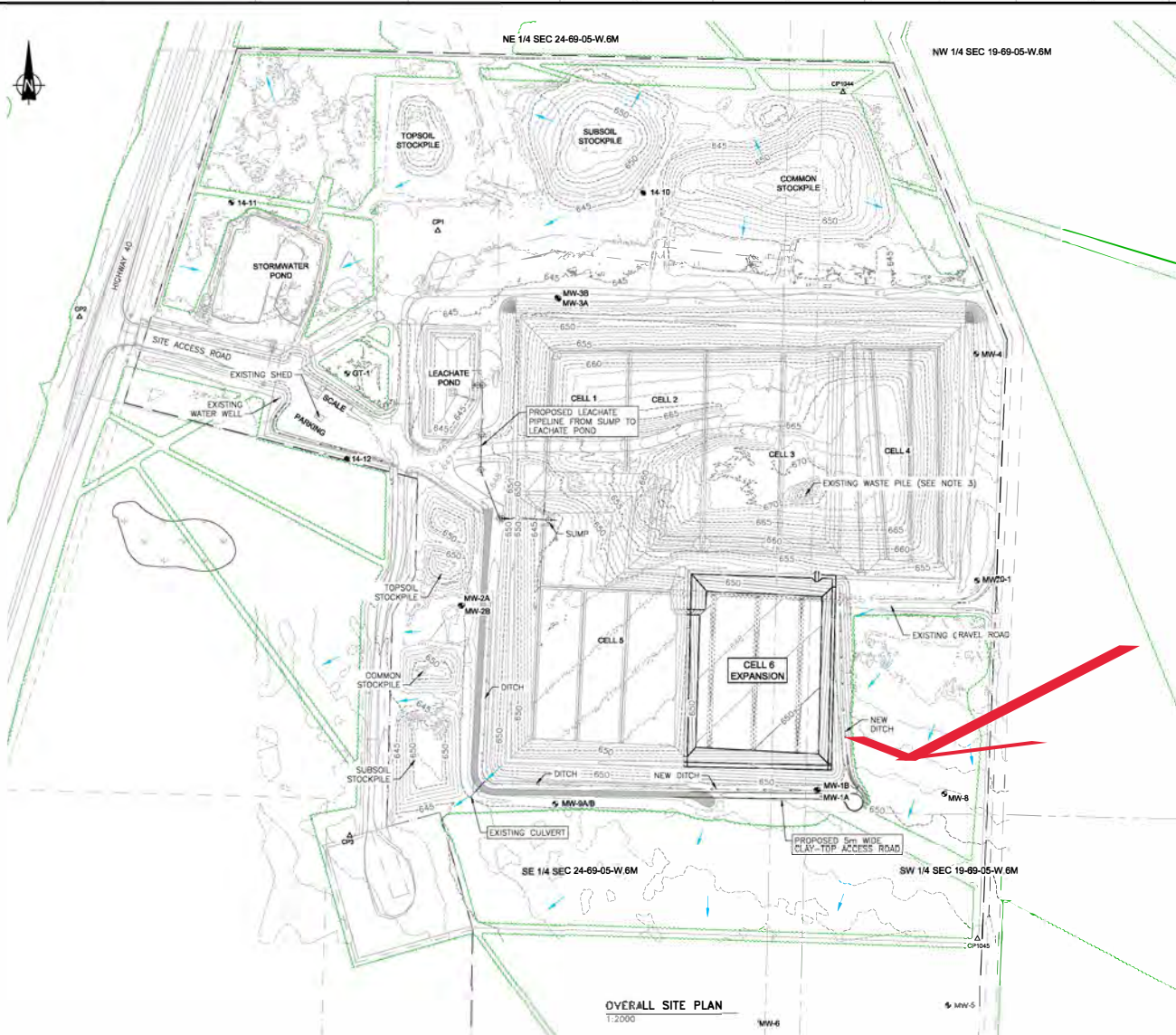
**I/We hereby declare that the information submitted is, to the best of my/our knowledge, factual and correct. I/We understand that by signing this declaration, I/we also give consent for an authorized person of MUNICIPAL DISTRICT OF GREENVIEW NO. 16 to enter upon the land that is subject to a development permit application for the purposes of conducting a site inspection in order to evaluate the proposed development.**

**NOTE:** If the applicant is not the registered landowner, the signature of the landowner(s) is/are required. **ALL** landowners **MUST** sign the application.

S [REDACTED]	Jan 18, 2023	[REDACTED]	Jan 17 2023
Applicant	Date	Registered Landowner/Leaseholder	Date
Applicant	Date	Registered Landowner/Leaseholder	Date

*The personal information collected on this form is being collected under the authority of Sections 33 and 39(1)(a)(b) of the Alberta Freedom of Information and Protection of Privacy Act, and Section 301.1 of the Municipal Government Act. The information will be used to process your application(s). Your name, contact telephone number and address may be used to carry out current and/or future construction, operating programs, services or activities of the municipality. If you have any questions about the collection, use or disclosure of the personal information provided, please contact the Freedom of Information and Protection of Privacy Coordinator at 780.524.7600.*





- NOTES:**
- DIMENSIONS, COORDINATES AND ELEVATIONS (GEODETIC) ARE IN METERS AND DECIMALS THEREOF.
  - COORDINATES ARE UTM NAD 83 (GRID) ZONE 11N.
  - SURVEY DATA FOR EXISTING WASTE PILE COVERAGE PROVIDED BY CHALLENGER GEOMATICS LTD. DATA FILE 42419-SOUTH-WAPITI.DWG DATED SEPT. 2022.

- LEGEND:**
- △ CP# SURVEY CONTROL POINT
  - ⊕ MW# MONITORING WELL
  - MLL BOUNDARY
  - EXISTING SECURITY FENCING
  - EXISTING TREELINE
  - OVERLAND DRAINAGE DIRECTION
  - DRAINAGE DITCH
  - 645 EXISTING CONTOUR (5m INTERVAL)
  - 645 EXISTING CONTOUR (1m INTERVAL)
  - 645 PROPOSED CONTOUR (5m INTERVAL)
  - 645 PROPOSED CONTOUR (1m INTERVAL)

CONTROL POINT COORDINATE TABLE *			
POINT	NORTHING	EASTING	ELEVATION
CP1	6085480.362	386877.104	843.474
CP2	6085402.062	386852.045	842.819
CP3	6094931.698	386797.223	844.008
CP1044	6095605.627	387245.178	842.671
CP1045	8204837.318	387366.995	847.551

\* UTM NAD83 ZONE 11 GRID COORDINATE SYSTEM WITH ELLIPSOID ELEVATIONS.

OVERALL SITE PLAN  
1:2000



	PERMIT TO PRACTICE JOURNEY ENGINEERING CORPORATION PERMIT NUMBER: P013943	<table border="1"> <thead> <tr> <th>REV</th> <th>D</th> <th>M</th> <th>Y</th> <th>ISSUE/REVISION DESCRIPTION</th> <th>BY</th> <th>ENG</th> </tr> </thead> <tbody> <tr> <td>13</td> <td>01</td> <td>23</td> <td></td> <td>ISSUED FOR PRICING</td> <td>MCH</td> <td>MS</td> </tr> <tr> <td>05</td> <td>01</td> <td>23</td> <td></td> <td>ISSUED FOR 90% REVIEW</td> <td>MCH</td> <td>MS</td> </tr> <tr> <td>02</td> <td>12</td> <td>22</td> <td></td> <td>ISSUED FOR 80% REVIEW</td> <td>MCH</td> <td>MS</td> </tr> <tr> <td>07</td> <td>11</td> <td>22</td> <td></td> <td>ISSUED FOR 30% REVIEW</td> <td>MCH</td> <td>MS</td> </tr> </tbody> </table>	REV	D	M	Y	ISSUE/REVISION DESCRIPTION	BY	ENG	13	01	23		ISSUED FOR PRICING	MCH	MS	05	01	23		ISSUED FOR 90% REVIEW	MCH	MS	02	12	22		ISSUED FOR 80% REVIEW	MCH	MS	07	11	22		ISSUED FOR 30% REVIEW	MCH	MS			Designer: M. BELLMONT Checker: M. D'HAGAN Approved by: S. HERBST	Project: SOUTH WAPITI LANDFILL CELL 6 EXPANSION Title: SITE PLAN GENERAL ARRANGEMENT	Project No.: 22076 CAD No.: 22076-101.DWG Date: 2022-10-15 Drawing No.: 22076-101 Revision: D
	REV	D	M	Y	ISSUE/REVISION DESCRIPTION	BY	ENG																																			
13	01	23		ISSUED FOR PRICING	MCH	MS																																				
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07	11	22		ISSUED FOR 30% REVIEW	MCH	MS																																				

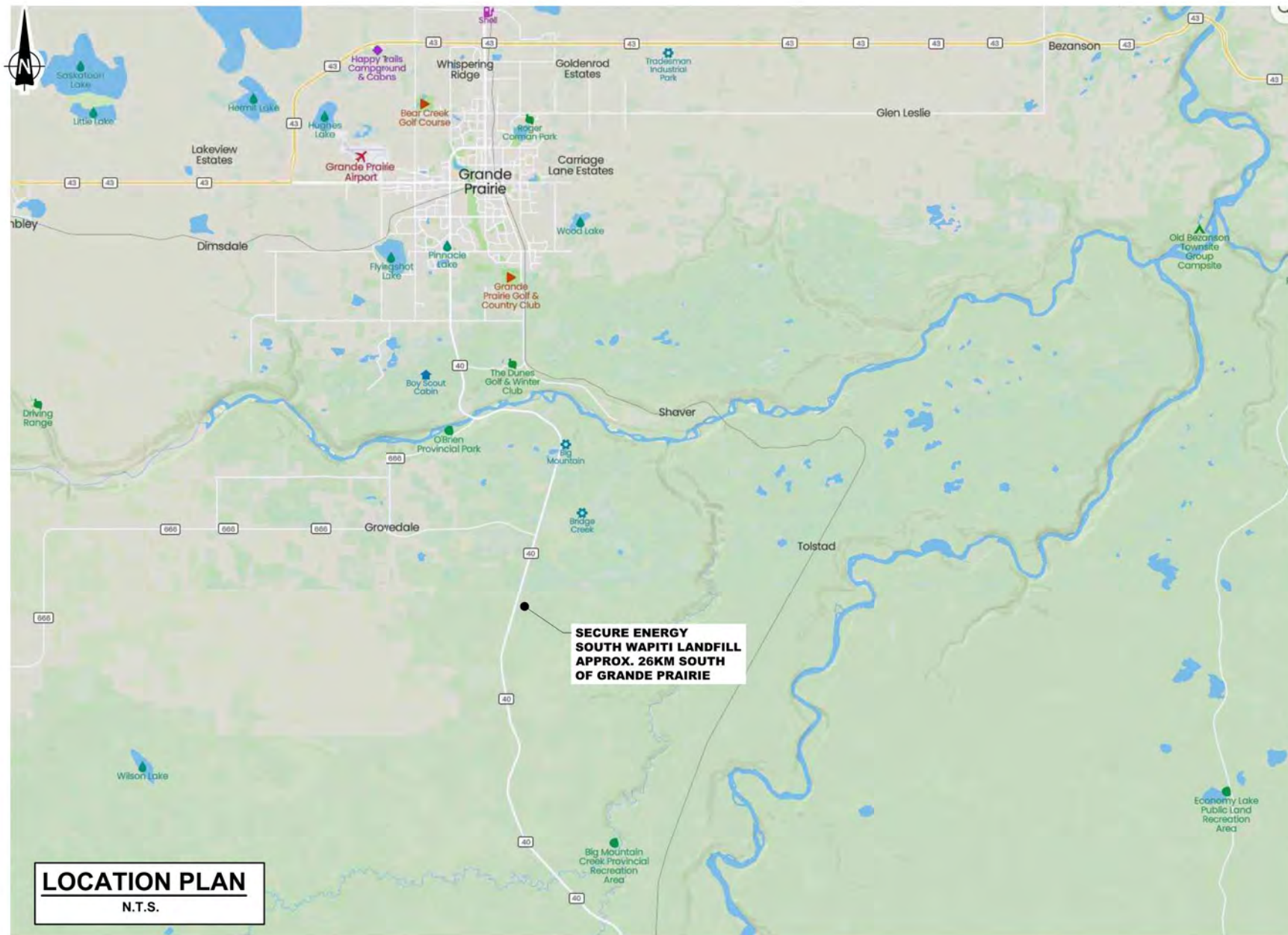
**SOUTH WAPITI LANDFILL CELL 6 EXPANSION  
INDUSTRIAL WASTE MANAGEMENT FACILITY  
CLASS II LANDFILL  
GRANDE PRAIRIE, ALBERTA**

**LIST OF DRAWINGS**

- 22076-099 COVER PAGE
- 22076-100 LOCATION PLAN
- 22076-101 SITE PLAN GENERAL ARRANGEMENT
- 22076-102 CELL 6 CLEARING & GRUBBING PLAN
- 22076-103 STRIPPING LIMITS & STOCKPILE LOCATION PLAN
- 22076-104 CELL 6 LANDFILL DESIGN PLAN
- 22076-105 SOUTH ACCESS ROAD PROPOSED EXTENSION
- 22076-106 CELL 6 LANDFILL SECTIONS
- 22076-107 CELL 6 DETAILS (SHEET 1 OF 5)
- 22076-108 CELL 6 DETAILS (SHEET 2 OF 5)
- 22076-109 CELL 6 DETAILS (SHEET 3 OF 5)
- 22076-110 CELL 6 DETAILS (SHEET 4 OF 5)
- 22076-111 CELL 6 DETAILS (SHEET 5 OF 5)
- 22076-112 CELL 6 BERM NOTCH DESIGN
- 22076-113 CELL 5 LEACHATE PIPELINE TO LEACHATE POND
- 22076-114 ELECTRICAL - CABLE SCHEDULE AND GENERAL NOTES
- 22076-115 ELECTRICAL - SINGLE LINE DIAGRAM
- 22076-116 ELECTRICAL - PANEL ELEVATION VIEWS



**JANUARY 2023  
PROJECT NUMBER: 22076  
ISSUED FOR PRICING**



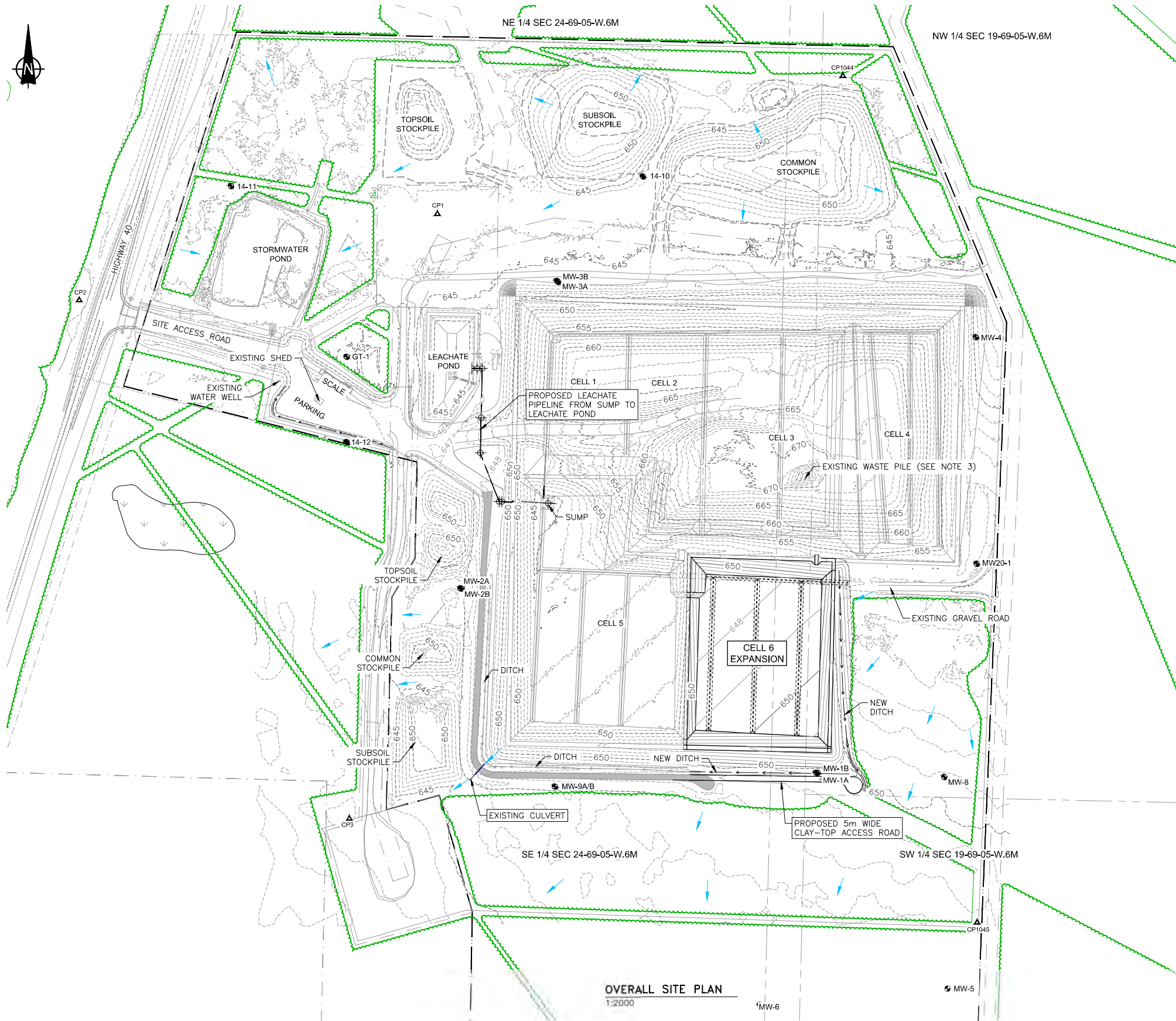
**PERMIT TO PRACTICE**  
JOURNEY ENGINEERING CORPORATION  
BRANCH NO. 84743  
DATE: 2023-01-15  
**PERMIT NUMBER: P013943**  
The Association of Professional Engineers and Geoscientists of Alberta (A.P.E.G.A.)

REV	D	M	Y	ISSUE/REVISION DESCRIPTION	BY	ENG
13	01	23		ISSUED FOR PRICING	MOH	MB
05	01	23		ISSUED FOR 90% REVIEW	MOH	MB
02	12	22		ISSUED FOR 60% REVIEW	MOH	MB
07	11	19		ISSUED FOR 30% REVIEW	MOH	MB

Designed By:  
**M. BELLMONT**  
Drawn By:  
**M. O'HAGAN**  
Checked By:  
**M. BELLMONT**  
Approved By:  
**S. HERBST**

Project:  
**SOUTH WAPITI LANDFILL  
CELL 6 EXPANSION**  
Title:  
**LOCATION PLAN**

Project No.:  
**22076**  
CADD File:  
**22076-100.DWG**  
DATE: (yyyy-mm-dd):  
**2022-10-15**  
Drawing No.:  
**22076-100**  
Revision:  
**D**



**NOTES:**

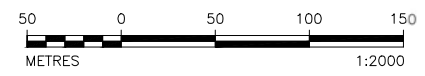
- DIMENSIONS, COORDINATES AND ELEVATIONS (GEODETIC) ARE IN METERS AND DECIMALS THEREOF.
- COORDINATES ARE UTM NAD 83 (GRID) ZONE 11N.
- SURVEY DATA FOR EXISTING WASTE PILE COVERAGE PROVIDED BY CHALLENGER GEOMATICS LTD. DATA FILE 42419-SOUTH-WAPITI.DWG DATED SEPT. 2022.

- LEGEND:**
- △ CP# SURVEY CONTROL POINT
  - MW# MONITORING WELL
  - MLL BOUNDARY
  - - - EXISTING SECURITY FENCELINE
  - EXISTING TREELINE
  - OVERLAND DRAINAGE DIRECTION
  - - - DRAINAGE DITCH
  - - - 645 EXISTING CONTOUR (5m INTERVAL)
  - - - 645 EXISTING CONTOUR (1m INTERVAL)
  - - - 645 PROPOSED CONTOUR (5m INTERVAL)
  - - - 645 PROPOSED CONTOUR (1m INTERVAL)

CONTROL POINT COORDINATE TABLE *			
POINT	NORTHING	EASTING	ELEVATION
CP1	6095480.362	386877.104	643.474
CP2	6095402.062	386552.045	642.819
CP3	6094931.698	386797.223	644.008
CP1044	6095605.627	387245.178	642.671
CP1045	6094837.319	387366.995	647.551

\* UTM NAD83 ZONE 11 GRID COORDINATE SYSTEM WITH ELLIPSOID ELEVATIONS.

**OVERALL SITE PLAN**  
1:2000



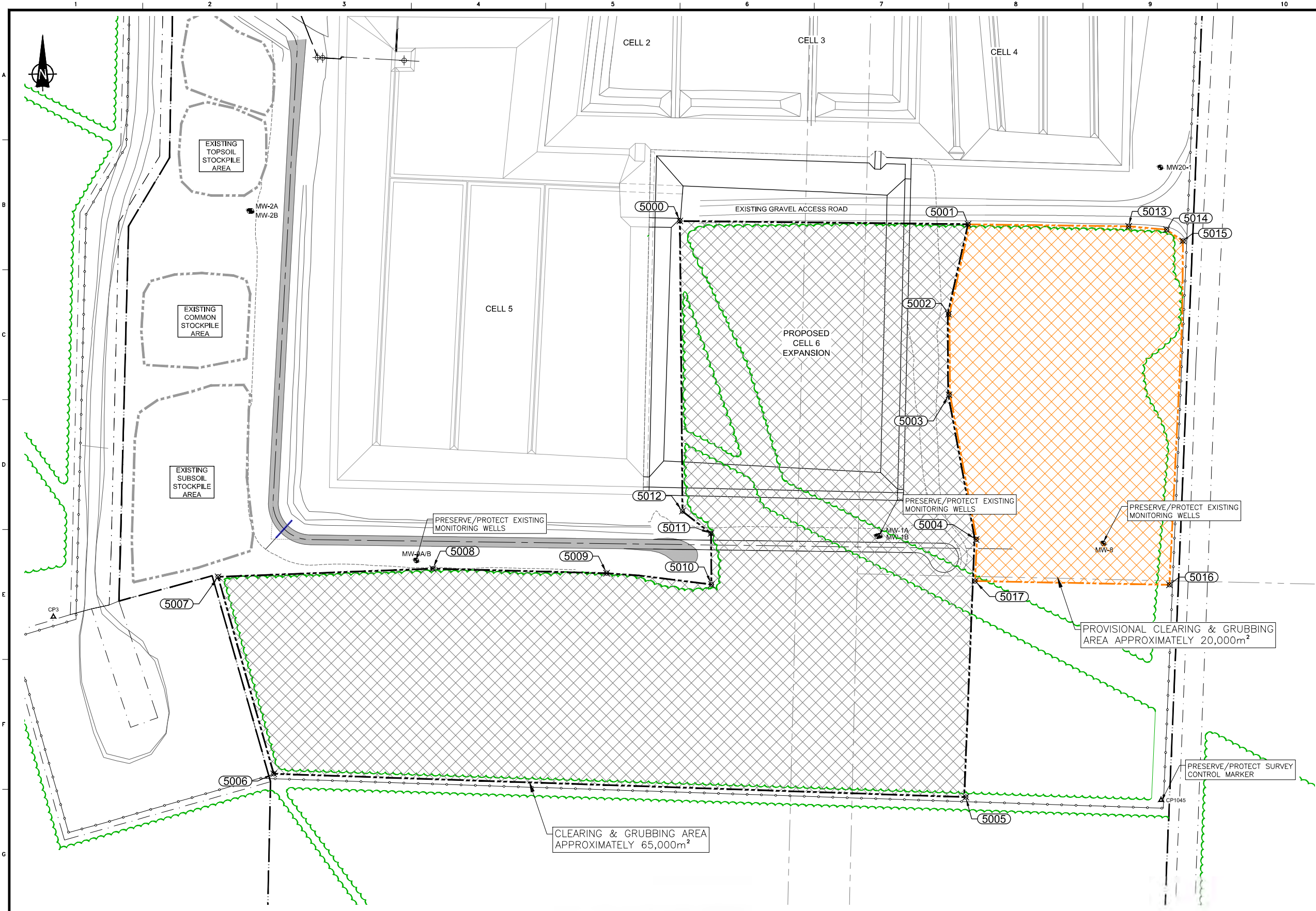
**PERMIT TO PRACTICE**  
JOURNEY ENGINEERING CORPORATION  
PROFESSIONAL ENGINEER  
MARTIN BELLMONT  
ID# 84149  
DATE: 2023-01-13  
**PERMIT NUMBER: P013943**  
The Association of Professional Engineers and Geoscientists of Alberta (A.P.E.G.A.)

REV	D	M	Y	ISSUE/REVISION DESCRIPTION	BY	ENG
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02	12	22		ISSUED FOR 60% REVIEW	MOH	MB
07	11	20		ISSUED FOR 30% REVIEW	MOH	MB

Designed By: M. BELLMONT  
 Drawn By: M. O'HAGAN  
 Checked By: M. BELLMONT  
 Approved By: S. HERBST

Project: SOUTH WAPITI LANDFILL CELL 6 EXPANSION  
 Title: SITE PLAN GENERAL ARRANGEMENT

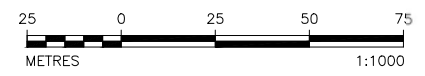
Project No.: 22076  
 CADD File: 22076-101.DWG  
 DATE: (yyy-mm-dd): 2022-10-15  
 Drawing No.: 22076-101  
 Revision: D



- NOTES:**
- DIMENSIONS, COORDINATES AND ELEVATIONS (GEODETIC) ARE IN METERS AND DECIMALS THEREOF.
  - COORDINATES ARE UTM NAD 83 (GRID) ZONE 11N.
  - SURVEY DATA FOR EXISTING WASTE PILE COVERAGE PROVIDED BY CHALLENGER GEOMATICS LTD. DATA FILE 42419-SOUTH-WAPITI.DWG DATED SEPT. 2022.

- LEGEND:**
- △ CP# SURVEY CONTROL POINT
  - MW# MONITORING WELL
  - ⊗ 5000 BOUNDARY COORDINATE (SEE TABLE)
  - MLL BOUNDARY
  - EXISTING SECURITY FENCELINE
  - EXISTING TREELINE
  - ▨ CLEARING & GRUBBING EXTENTS
  - ▨ PROVISIONAL CLEARING & GRUBBING EXTENTS

CLEARING & GRUBBING TABLE		
POINT ID	NORTHING	EASTING
5000	6095135	387119
5001	6095134	387268
5002	6095087	387258
5003	6095046	387258
5004	6094971	387272
5005	6094839	387267
5006	6094851	386911
5007	6094952	386882
5008	6094956	386992
5009	6094954	387082
5010	6094948	387136
5011	6094975	387135
5012	6094986	387121
5013	6095133	387350
5014	6095131	387370
5015	6095125	387378
5016	6094948	387371
5017	6094950	387271



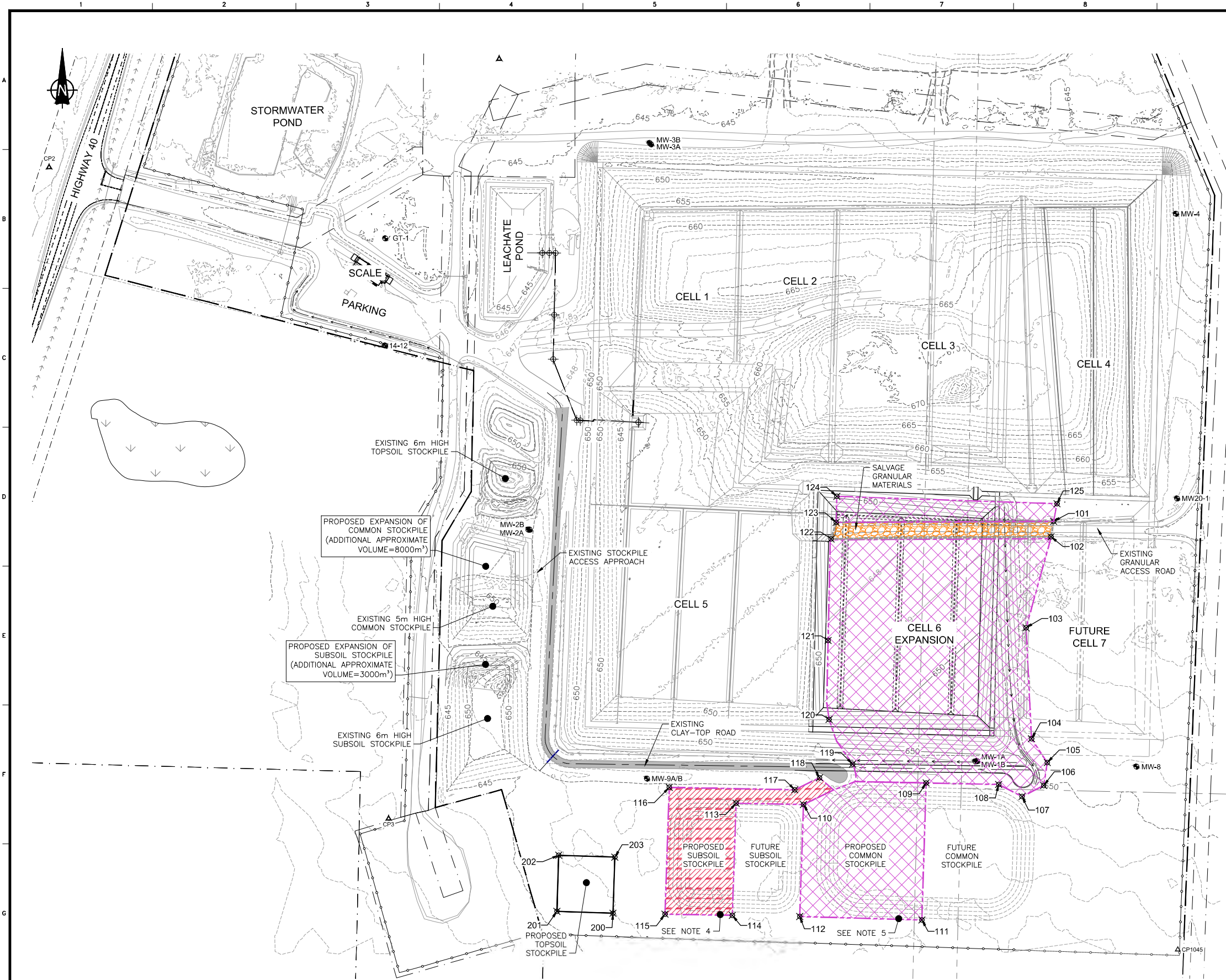
**PERMIT TO PRACTICE**  
 JOURNEY ENGINEERING CORPORATION  
 REGISTRATION # 84149  
 DATE: 2023-01-13  
**PERMIT NUMBER: P013943**  
The Association of Professional Engineers and Geoscientists of Alberta (A.P.E.G.A.)

REV	D	M	Y	ISSUE/REVISION DESCRIPTION	BY	ENG
13	01	23		ISSUED FOR PRICING	MOH	MB
05	01	23		ISSUED FOR 90% REVIEW	MOH	MB
02	12	22		ISSUED FOR 60% REVIEW	MOH	MB
07	11	21		ISSUED FOR 30% REVIEW	MOH	MB

Designed By: M. BELLMONT  
 Drawn By: M. O'HAGAN  
 Checked By: M. BELLMONT  
 Approved By: S. HERBST

Project: SOUTH WAPITI LANDFILL  
 CELL 6 EXPANSION  
 Title: CELL 6  
 CLEARING & GRUBBING PLAN

Project No.: 22076  
 CADD File: 22076-102.DWG  
 DATE: (yyyy-mm-dd): 2022-10-15  
 Drawing No.: 22076-102  
 Revision: D



STRIPPING COORDINATE TABLE

POINT ID	NORTHING	EASTING
101	6095146	387278
102	6095135	387276
103	6095070	387258
104	6094989	387262
105	6094972	387273
106	6094956	387270
107	6094948	387255
108	6094956	387238
109	6094958	387185
110	6094942	387097
111	6094859	387182
112	6094861	387094
113	6094943	387048
114	6094862	387045
115	6094863	386997
116	6094954	387000
117	6094953	387091
118	6094961	387108
119	6094971	387132
120	6095003	387115
121	6095060	387115
122	6095134	387117
123	6095146	387120
124	6095164	387121
125	6095159	387280

TOPSOIL STOCKPILE COORDINATES

POINT ID	NORTHING	EASTING
200	6094863	386959
201	6094865	386919
202	6094905	386920
203	6094904	386961

- NOTES:
- DIMENSIONS, COORDINATES AND ELEVATIONS (GEODETIC) ARE IN METERS AND DECIMALS THEREOF.
  - COORDINATES ARE UTM NAD 83 (GRID) ZONE 11N.
  - SURVEY DATA FOR EXISTING WASTE PILE COVERAGE PROVIDED BY CHALLENGER GEOMATICS LTD. DATA FILE 42419-SOUTH-WAPITI.DWG DATED SEPT. 2022.
  - FOR NEW SUBSOIL STOCKPILES, CONTRACTOR SHALL STRIP FOOTPRINT AREA OF TOPSOIL FIRST. TO BE STOCKPILED AT THE PROPOSED TOPSOIL STOCKPILE.
  - FOR NEW COMMON STOCKPILES, CONTRACTOR SHALL STRIP FOOTPRINT AREA OF TOPSOIL AND SUBSOIL FIRST. TO BE STOCKPILED AT THE PROPOSED TOPSOIL AND SUBSOIL STOCKPILES.
- LEGEND:
- △ CP# SURVEY CONTROL POINT
  - MW# MONITORING WELL
  - MLL BOUNDARY
  - EXISTING SECURITY FENCELINE
  - TOPSOIL/SUBSOIL STRIPPING LIMITS
  - TOPSOIL ONLY STRIPPING LIMITS
  - GRAVEL SALVAGE LIMITS
  - TOPSOIL STOCKPILE AREAS
  - ⊗ 1000 SURVEY POINT (SEE COORDINATE TABLE)
  - 645- EXISTING CONTOUR (5m INTERVAL)
  - 645- EXISTING CONTOUR (1m INTERVAL)
  - 645- PROPOSED CONTOUR (5m INTERVAL)
  - 645- PROPOSED CONTOUR (1m INTERVAL)



**PERMIT TO PRACTICE**  
 JOURNEY ENGINEERING CORPORATION  
 REGISTRATION NO. 84149  
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 The Association of Professional Engineers and Geoscientists of Alberta (APEGA)

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07	11	22		ISSUED FOR 30% REVIEW	MOH	MB

Designed By: [Redacted]  
 Drawn By: [Redacted]  
 Checked By: [Redacted]  
 Approved By: [Redacted]

M. BELLMONT  
 M. O'HAGAN  
 M. BELLMONT  
 S. HERBST

Project: **SOUTH WAPITI LANDFILL CELL 6 EXPANSION**  
 Title: **STRIPPING LIMITS & STOCKPILE LOCATION PLAN**

Project No.: 22076  
 CADD File: 22076-103.DWG  
 DATE: (yyy-mm-dd): 2022-10-15  
 Drawing No.: 22076-103  
 Revision: D

NOTES:

1. DIMENSIONS, COORDINATES AND ELEVATIONS (GEODETIC) ARE IN METERS AND DECIMALS THEREOF
2. COORDINATES ARE UTM NAD 83 (GRID) ZONE 11N.
3. SURVEY DATA FOR EXISTING WASTE PILE COVERAGE PROVIDED BY CHALLENGER GEOMATICS LTD. DATA FILE 42419-SOUTH-WAPITI.DWG DATED SEPT. 2022.

LEGEND:

- MW# EXISTING MONITORING WELL
- MLL BOUNDARY
- EXISTING CLAY-TOP ACCESS ROAD
- WASTE LIMIT ROPE EXTENTS
- CELL 5 LEACHATE TRENCH w/ HDPE PIPE
- DRAINAGE DITCH
- EXISTING CONTOUR (5m INTERVAL)
- EXISTING CONTOUR (1m INTERVAL)
- PROPOSED CONTOUR (5m INTERVAL)
- PROPOSED CONTOUR (1m INTERVAL)
- ### COORDINATE CONTROL POINT (SEE TABLES)
- FINISHED GRADE WITH TOPSOIL/SEEDMIX
- COCONUT MATTING ALONG DITCH BTM. (EROSION CONTROL)

TOP OF BERM POINT TABLE

POINT ID	NORTHING	EASTING	ELEV. (m)
T1	6095168.839	387107.431	651.466
T2	6095165.202	387216.790	653.683
T3	6095164.902	387225.785	653.869
T4	6095164.555	387235.430	654.074
T5	6095156.995	387235.269	651.537
T6	6094997.205	387231.535	654.236
T7	6094995.522	387231.496	654.539
T8	6094998.391	387103.623	653.597
T9	6095003.588	387103.744	651.835
T10	6095132.176	387106.613	649.828
T11	6095136.976	387106.713	651.359

TOE OF BERM POINT TABLE

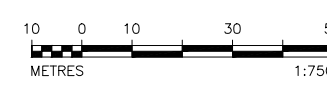
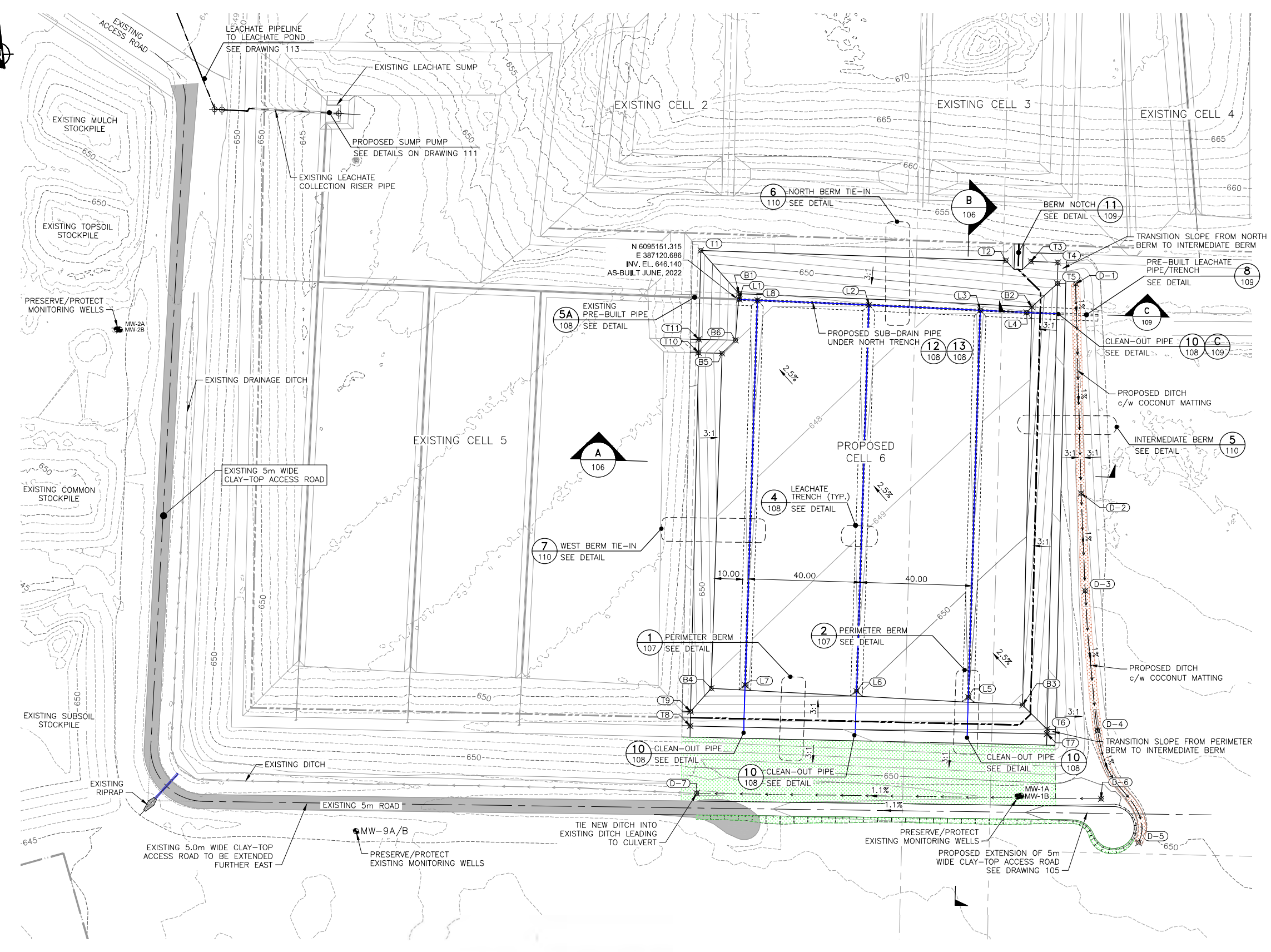
POINT ID	NORTHING	EASTING	ELEV. (m)
B1	6095153.367	387121.107	646.712
B2	6095148.604	387226.073	648.537
B3	6095005.860	387222.735	651.074
B4	6095011.873	387111.154	649.064
B5	6095131.990	387115.008	646.989
B6	6095136.684	387119.825	646.987

LEACHATE TRENCH POINT TABLE

POINT ID	NORTHING	EASTING	INVERT ELEV. (m)
L1	6095151.287	387121.245	646.151
L2	6095149.307	387167.707	646.979
L3	6095147.390	387207.608	647.666
L4	6095146.590	387224.225	647.944
L5	6095008.709	387203.318	650.091
L6	6095010.868	387163.248	649.370
L7	6095013.021	387123.297	648.651
L8	6095150.995	387127.724	646.267

DITCH POINT TABLE

POINT ID	NORTHING	EASTING	DITCH INVERT (m)
D-1	6095156.868	387241.779	651.178
D-2	6095081.757	387243.740	650.600
D-3	6095046.833	387245.214	650.331
D-4	6094996.616	387249.676	649.941
D-5	6094956.466	387264.353	649.600
D-6	6094972.283	387250.912	649.490
D-7	6094974.240	387105.925	647.892



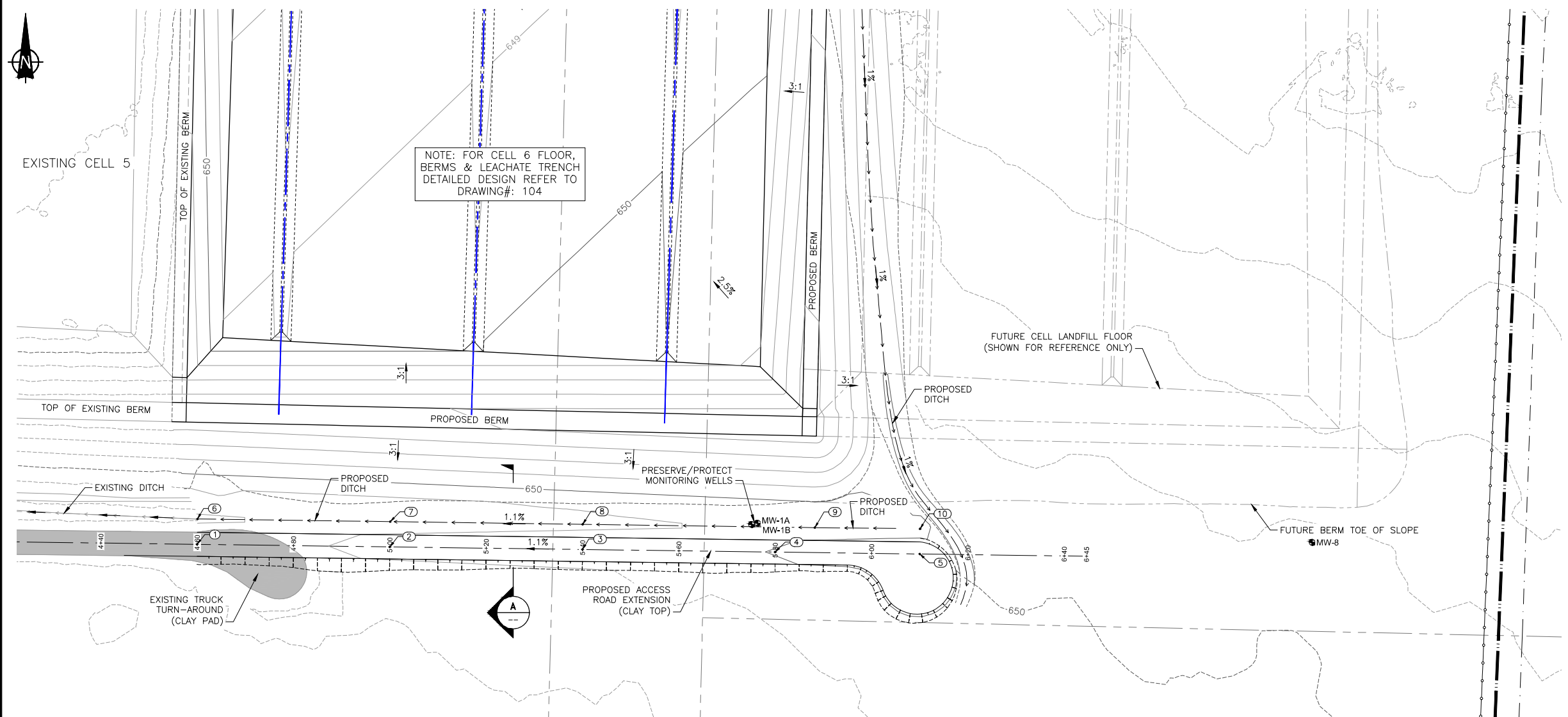
**PERMIT TO PRACTICE**  
**JOURNEY ENGINEERING CORPORATION**  
 REGISTRATION NO. 84149  
 DATE: 2023-01-13  
**PERMIT NUMBER: P013943**  
 The Association of Professional Engineers Ltd.  
 (Incorporated in Alberta, Canada)

REV	D	M	Y	ISSUE/REVISION DESCRIPTION	BY	ENG.
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05	01	23		ISSUED FOR 90% REVIEW	MOH	MB
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07	11	23		ISSUED FOR 30% REVIEW	MOH	MB

Designed By:  
**M. BELLMONT**  
 Drawn By:  
**M. O'HAGAN**  
 Checked By:  
**M. BELLMONT**  
 Approved By:  
**S. HERBST**

Project:  
**SOUTH WAPITI LANDFILL**  
**CELL 6 EXPANSION**  
 Title:  
**CELL 6**  
**LANDFILL DESIGN PLAN**

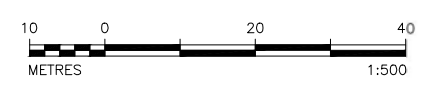
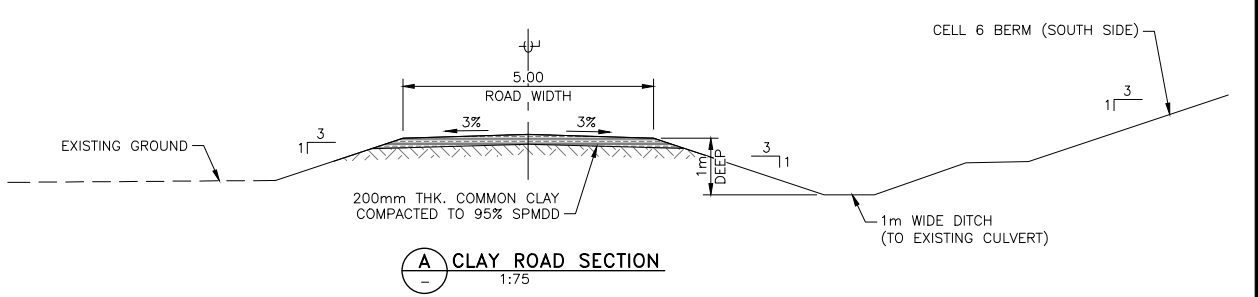
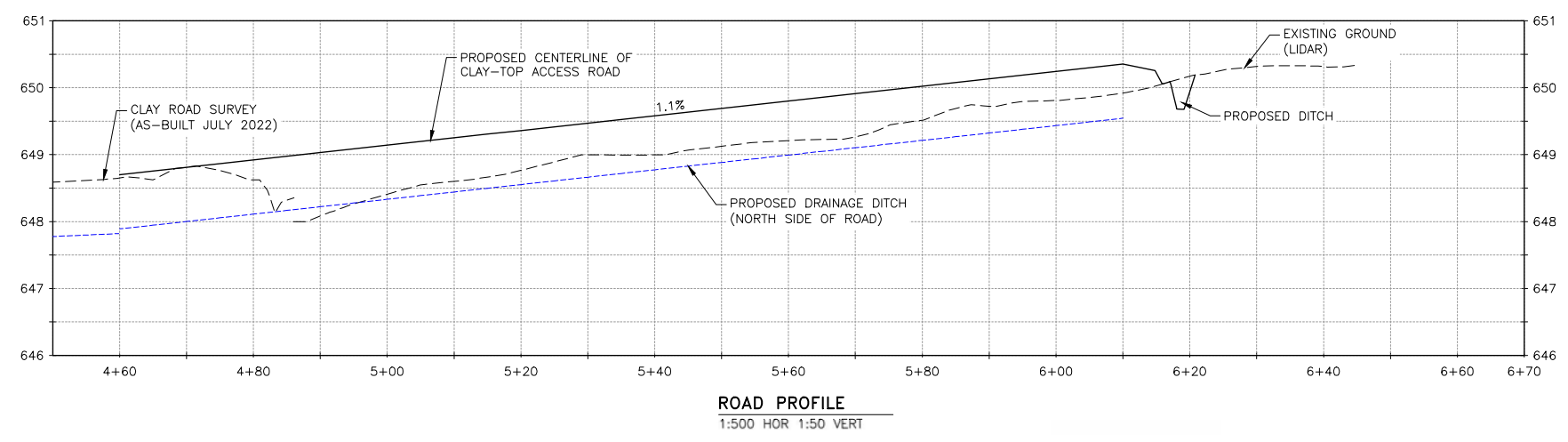
Project No.:  
 22076  
 CADD File:  
 22076-104.DWG  
 DATE: (yyy-mm-dd):  
 2022-10-15  
 Drawing No.:  
 22076-104  
 Revision:  
 D



- NOTES:
- DIMENSIONS, COORDINATES AND ELEVATIONS (GEODETIC) ARE IN METERS AND DECIMALS THEREOF.
  - COORDINATES ARE UTM NAD 83 (GRID) ZONE 11N.
  - SURVEY DATA FOR EXISTING WASTE PILE COVERAGE PROVIDED BY CHALLENGER GEOMATICS LTD. DATA FILE 42419-SOUTH-WAPITI.DWG DATED SEPT. 2022.

- LEGEND:
- MW# EXISTING MONITORING WELL
  - MLL BOUNDARY
  - LEACHATE TRENCH WITH HDPE PIPE
  - DRAINAGE DITCH
  - 645 EXISTING CONTOUR (5m INTERVAL)
  - 645 EXISTING CONTOUR (1m INTERVAL)
  - 645 PROPOSED CONTOUR (5m INTERVAL)
  - 645 PROPOSED CONTOUR (1m INTERVAL)
  - ### COORDINATE CONTROL POINT (SEE TABLES)

Pt.No.	NORTHING	EASTING	ELEV. (m)
1	6,094,968.99	387,105.85	648.700
2	6,094,968.46	387,145.85	649.141
3	6,094,967.92	387,185.85	649.582
4	6,094,967.39	387,225.84	650.022
5	6,094,966.98	387,255.84	650.353
6	6,094,974.24	387,105.93	647.892
7	6,094,973.69	387,145.93	648.333
8	6,094,973.14	387,185.87	648.773
9	6,094,972.45	387,234.07	649.294
10	6,094,972.21	387,255.91	649.545



PERMIT TO PRACTICE  
JOURNEY ENGINEERING CORPORATION  
PROFESSIONAL ENGINEER  
MARTIN BELLMONT  
DATE: 2023-01-13  
PERMIT NUMBER: P013943  
The Association of Professional Engineers and Geoscientists of Alberta (A.P.E.G.A.)

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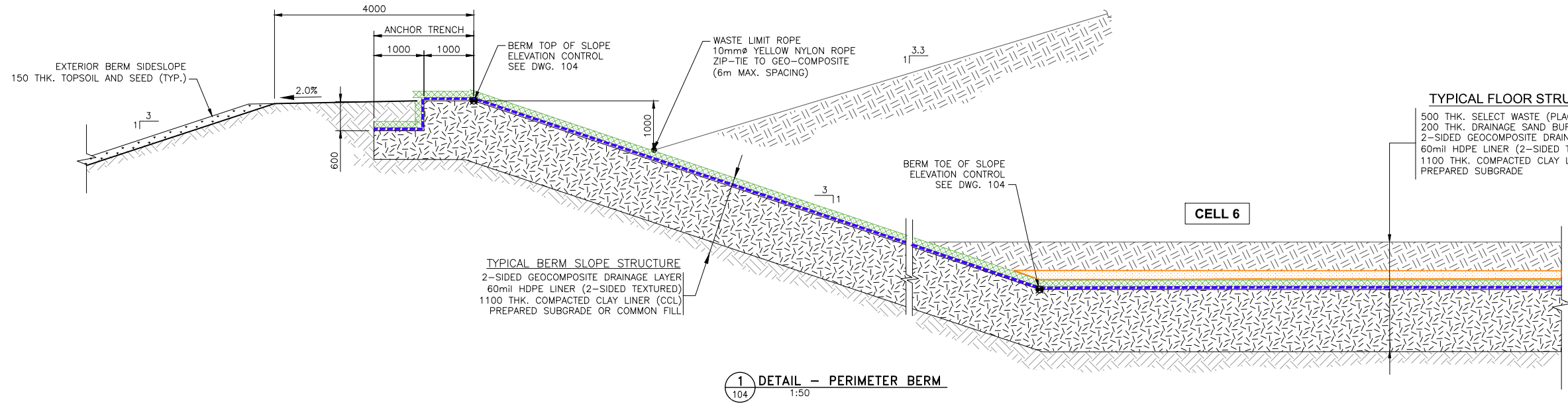
Designed By: M. BELLMONT  
 Drawn By: M. O'HAGAN  
 Checked By: M. BELLMONT  
 Approved By: S. HERBST

Project: SOUTH WAPITI LANDFILL CELL 6 EXPANSION  
 Title: SOUTH ACCESS ROAD PROPOSED EXTENSION

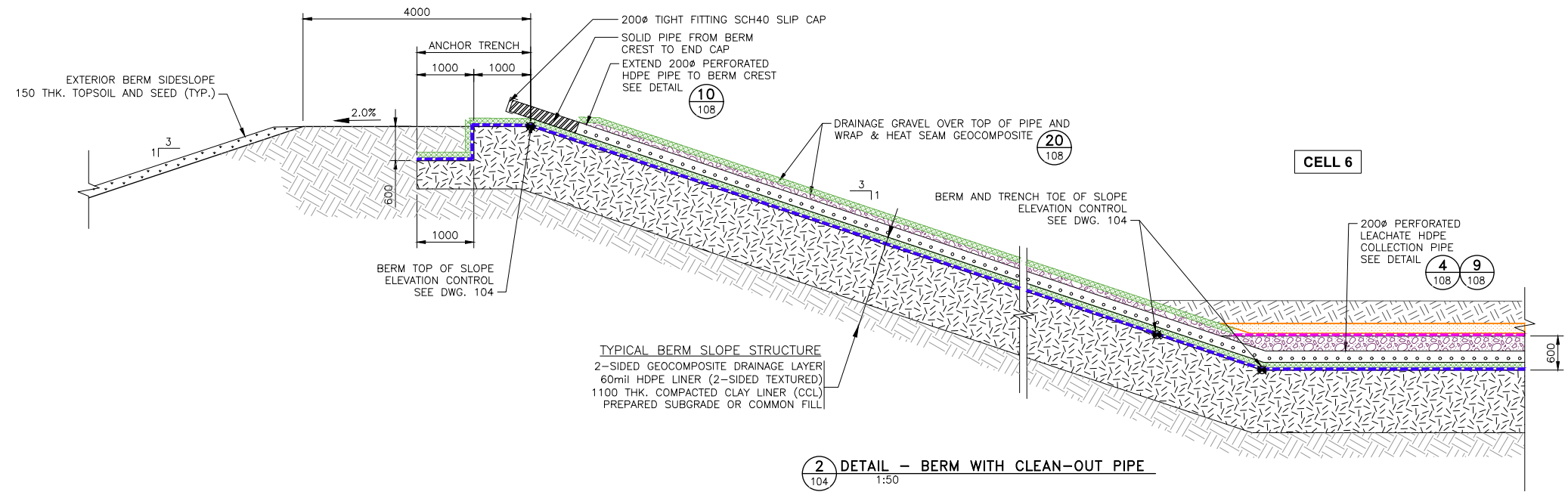
Project No.:	22076
CADD File:	22076-105.DWG
DATE: (yyy-mm-dd):	2022-10-15
Drawing No.:	22076-105
Revision:	D



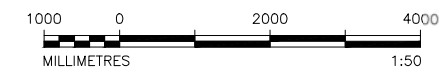
- NOTES:**
- DRAWING UNITS AND DIMENSIONS ARE IN MILLIMETERS, UNLESS NOTED OTHERWISE.
  - SURVEY DATA FOR EXISTING WASTE PILE COVERAGE PROVIDED BY CHALLENGER GEOMATICS LTD. DATA FILE 42419-SOUTH-WAPITI.DWG DATED SEPT. 2022.



**1** DETAIL - PERIMETER BERM  
104 1:50



**2** DETAIL - BERM WITH CLEAN-OUT PIPE  
104 1:50



**PERMIT TO PRACTICE**  
JOURNEY ENGINEERING CORPORATION  
PROFESSIONAL ENGINEER  
TRANSACTION # 84149  
DATE: 2023-01-13  
**PERMIT NUMBER: P013943**  
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REV	D	M	Y	ISSUE/REVISION DESCRIPTION	BY	ENG
13	01	23		ISSUED FOR PRICING	MOH	MB
05	01	23		ISSUED FOR 90% REVIEW	MOH	MB
02	12	22		ISSUED FOR 60% REVIEW	MOH	MB
07	11	25		ISSUED FOR 30% REVIEW	MOH	MB

Designed By: [Redacted]  
Drawn By: [Redacted]  
Checked By: [Redacted]  
Approved By: [Redacted]

M. BELLMONT  
M. O'HAGAN  
M. BELLMONT  
S. HERBST

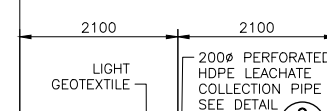
**Project:** SOUTH WAPITI LANDFILL CELL 6 EXPANSION  
**Title:** CELL 6 DETAILS (SHEET 1 OF 5)

**Project No.:** 22076  
**CADD File:** 22076-107.DWG  
**DATE: (yyy-mm-dd):** 2022-10-15  
**Drawing No.:** 22076-107  
**Revision:** D

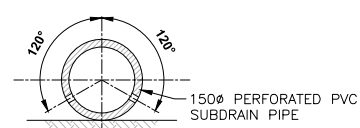
**TYPICAL FLOOR STRUCTURE**

- 500 SELECT WASTE (PLACED BY OTHERS)
- 200 DRAINAGE SAND LAYER
- 2-SIDED GEOCOMPOSITE DRAINAGE LAYER
- 60mil HDPE LINER (2-SIDED TEXTURED)
- 1100 COMPACTED CLAY LINER (CCL) PREPARED SUBGRADE

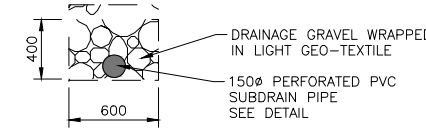
**TYPICAL LEACHATE COLLECTION TRENCH**



**4 DETAIL - TYPICAL LEACHATE TRENCH**  
104 107 110 1:50

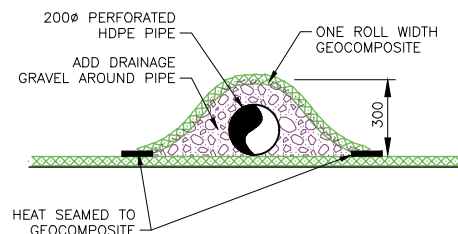


**12 SUB-DRAIN PERFORATED PIPE DETAIL**  
104 109 110 N.T.S.

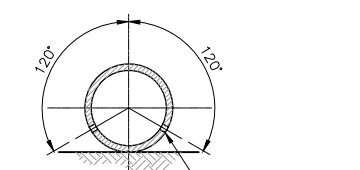


**13 SUB-DRAIN PERFORATED PIPE DETAIL**  
104 109 110 N.T.S.

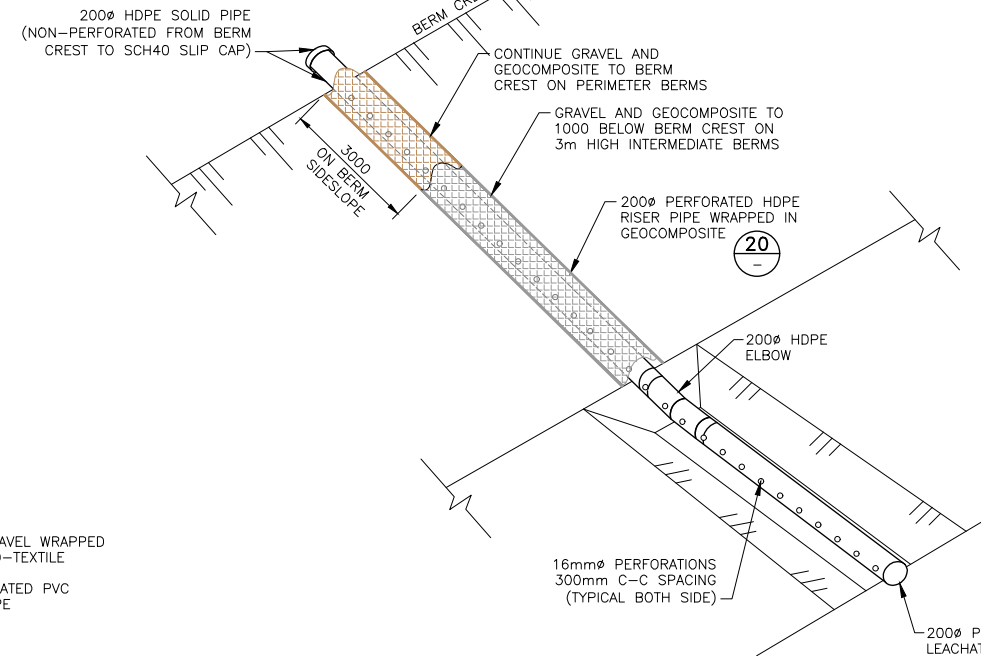
**NOTES:**  
1. DRAWING UNITS AND DIMENSIONS ARE IN MILLIMETERS, UNLESS NOTED OTHERWISE.



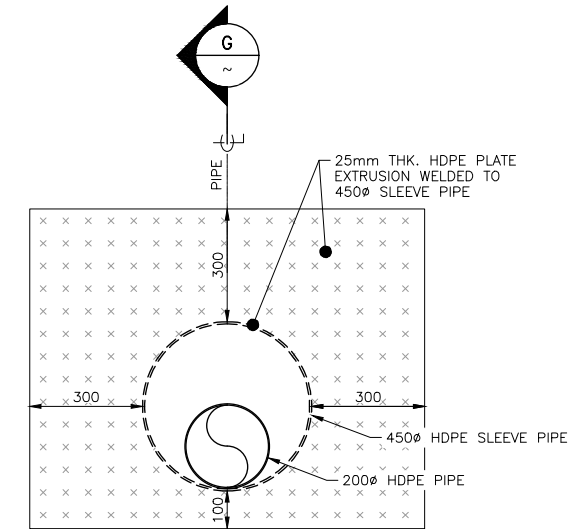
**20 DETAIL - RISER PIPE WRAP**  
107 109 N.T.S.



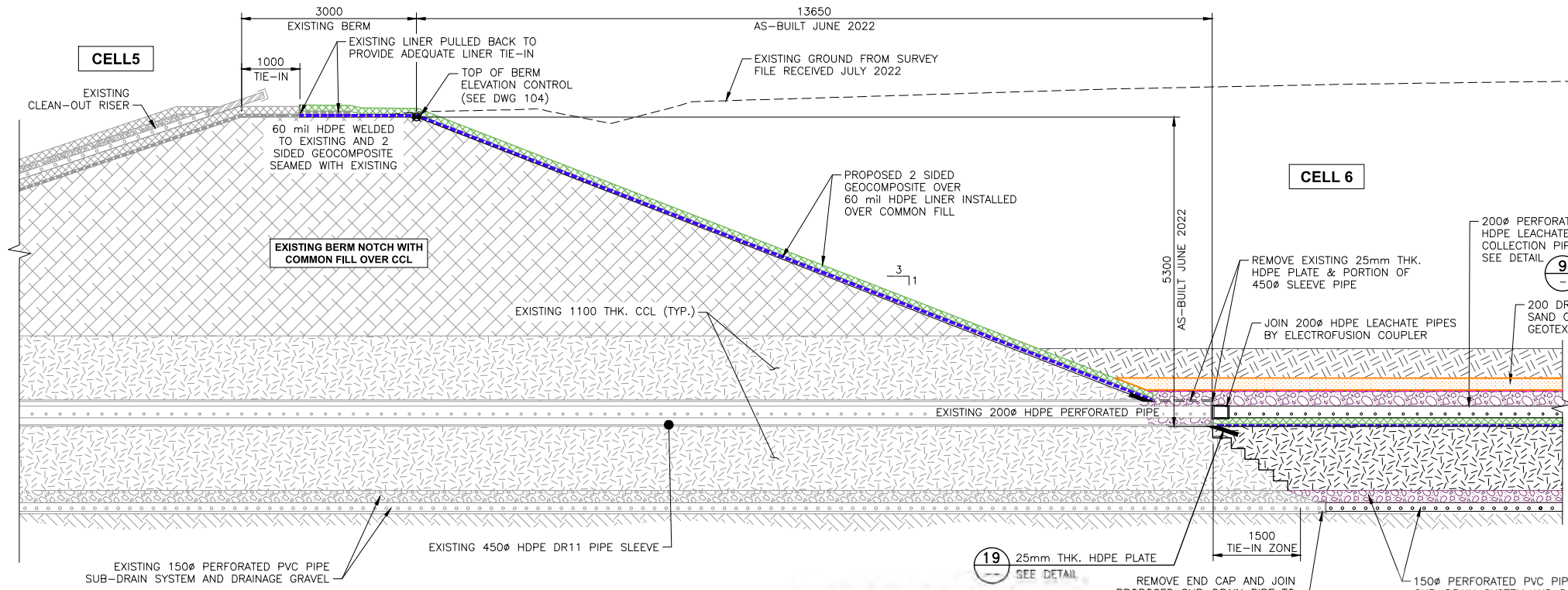
**9 DETAIL - PERFORATED PIPE**  
107 1:10



**10 DETAIL - CLEANOUT HDPE RISER PIPE**  
104 107 109 N.T.S.



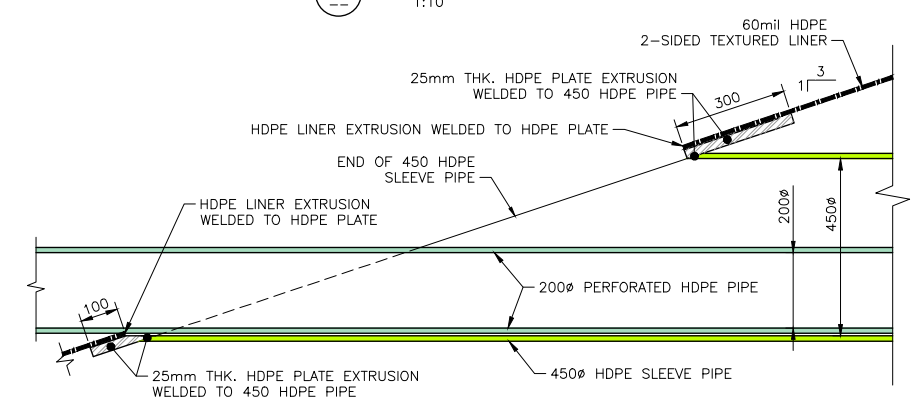
**19 DETAIL - HDPE PLATE**  
1:10



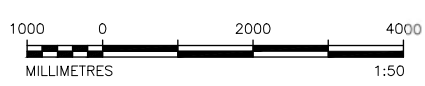
**5A DETAIL - PRE-BUILT TRENCH TIE-IN**  
104 1:50

**19 25mm THK. HDPE PLATE**  
SEE DETAIL

**12 13**



**G SECTION - HDPE PLATE**  
1:10

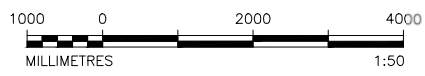
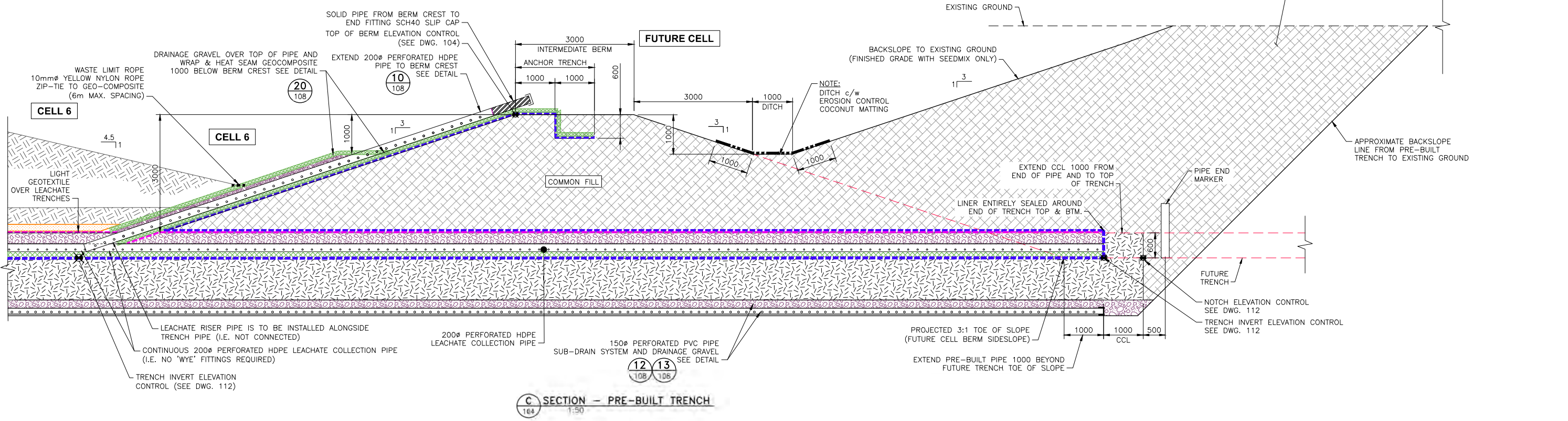
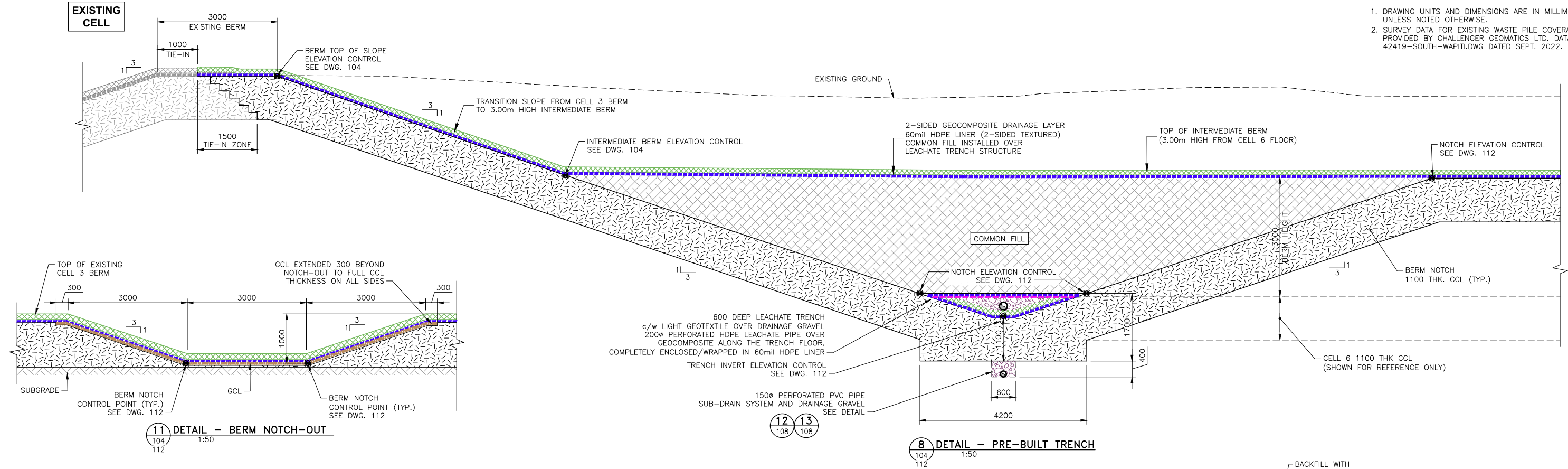


**PERMIT TO PRACTICE**  
JOURNEY ENGINEERING CORPORATION  
PROFESSIONAL ENGINEER  
REGISTRATION NO. 84149  
DATE: 2023-01-15  
PERMIT NUMBER: P013943  
The Association of Professional Engineers and Geoscientists of Alberta (A.P.E.G.A.)

REV	D	M	Y	ISSUE/REVISION DESCRIPTION	BY	ENG
13	01	23		ISSUED FOR PRICING	MOH	MB
05	01	23		ISSUED FOR 90% REVIEW	MOH	MB
02	12	22		ISSUED FOR 60% REVIEW	MOH	MB
07	11	20		ISSUED FOR 30% REVIEW	MOH	MB

Designed By: <b>M. BELLMONT</b>	Project: <b>SOUTH WAPITI LANDFILL CELL 6 EXPANSION</b>	Project No.: 22076
Drawn By: <b>M. O'HAGAN</b>		CADD File: 22076-108.DWG
Checked By: <b>M. BELLMONT</b>	Title: <b>CELL 6 DETAILS (SHEET 2 OF 5)</b>	DATE: (yyyy-mm-dd): 2022-10-15
Approved By: <b>S. HERBST</b>		Drawing No.: 22076-108
		Revision: D

- NOTES:**
1. DRAWING UNITS AND DIMENSIONS ARE IN MILLIMETERS, UNLESS NOTED OTHERWISE.
  2. SURVEY DATA FOR EXISTING WASTE PILE COVERAGE PROVIDED BY CHALLENGER GEOMATICS LTD. DATA FILE 42419-SOUTH-WAPITI.DWG DATED SEPT. 2022.



**PERMIT TO PRACTICE**  
JOURNEY ENGINEERING CORPORATION  
PROFESSIONAL ENGINEER  
REGISTRATION NO. 84149  
DATE: 2023-01-13  
**PERMIT NUMBER: P013943**  
The Association of Professional Engineers and Geoscientists of Ontario (A.P.E.G.O.)

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07	11	22		ISSUED FOR 30% REVIEW	MOH	MB

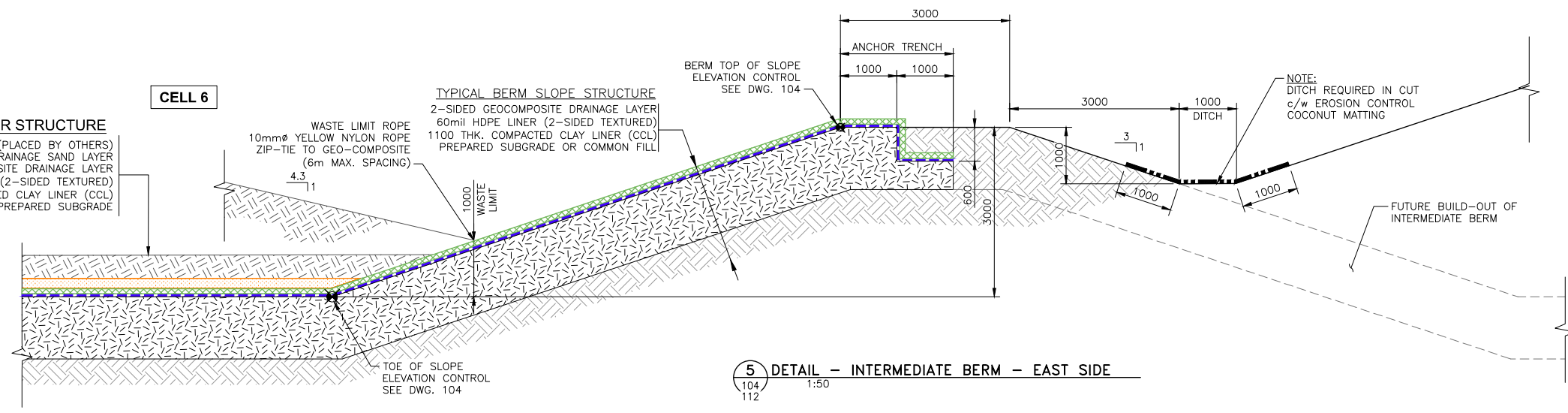
Assigned By: [Redacted]  
Checked By: [Redacted]  
Approved By: [Redacted]

Project No.: 22076	Project: SOUTH WAPITI LANDFILL CELL 6 EXPANSION	CADD File: 22076-109.DWG
DATE: (yyyy-mm-dd): 2022-10-15		
Project: SOUTH WAPITI LANDFILL CELL 6 EXPANSION	Title: CELL 6 DETAILS (SHEET 3 OF 5)	Drawing No.: 22076-109
Project: SOUTH WAPITI LANDFILL CELL 6 EXPANSION		
Checked By: M. O'HAGAN		
Approved By: M. BELLMONT		
Checked By: S. HERBST		
Approved By: S. HERBST		

**TYPICAL FLOOR STRUCTURE**  
 500 SELECT WASTE (PLACED BY OTHERS)  
 200 DRAINAGE SAND LAYER  
 2-SIDED GEOCOMPOSITE DRAINAGE LAYER  
 60mil HDPE LINER (2-SIDED TEXTURED)  
 1100 COMPACTED CLAY LINER (CCL)  
 PREPARED SUBGRADE

**CELL 6**

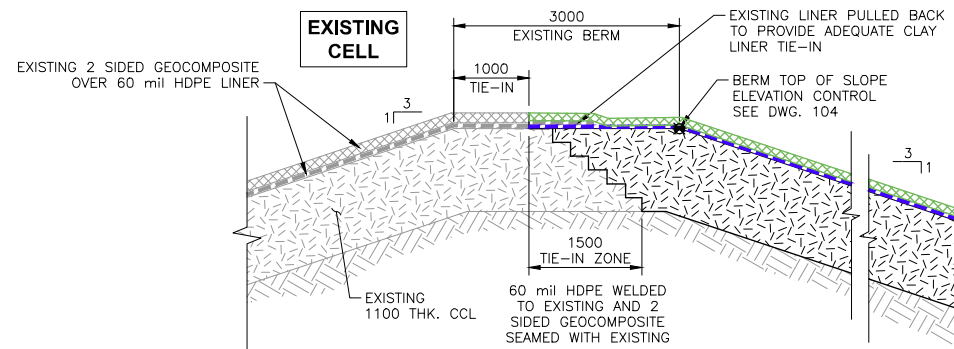
**TYPICAL BERM SLOPE STRUCTURE**  
 2-SIDED GEOCOMPOSITE DRAINAGE LAYER  
 60mil HDPE LINER (2-SIDED TEXTURED)  
 1100 THK. COMPACTED CLAY LINER (CCL)  
 PREPARED SUBGRADE OR COMMON FILL



**5 DETAIL - INTERMEDIATE BERM - EAST SIDE**  
 104/112 1:50

- NOTES:**
- DRAWING UNITS AND DIMENSIONS ARE IN MILLIMETERS, UNLESS NOTED OTHERWISE.
  - SURVEY DATA FOR EXISTING WASTE PILE COVERAGE PROVIDED BY CHALLENGER GEOMATICS LTD. DATA FILE 42419-SOUTH-WAPITI.DWG DATED SEPT. 2022.

NOTE: DITCH REQUIRED IN CUT c/w EROSION CONTROL COCONUT MATTING



**6 DETAIL - BERM TIE-IN - NORTH SIDE**  
 104 1:50

**CELL 6**

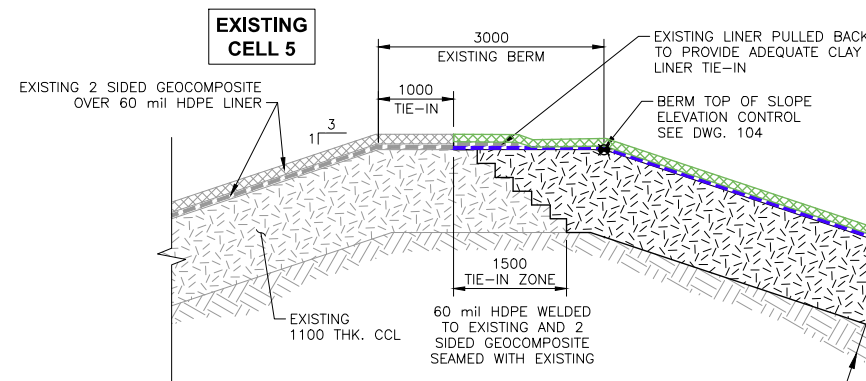
**TYPICAL LEACHATE TRENCH**  
 SEE DETAIL

**TRENCH INVERT ELEVATION CONTROL**  
 SEE DWG. 104

**TYPICAL BERM SLOPE STRUCTURE**  
 2-SIDED GEOCOMPOSITE DRAINAGE LAYER  
 60mil HDPE LINER (2-SIDED TEXTURED)  
 1100 THK. COMPACTED CLAY LINER (CCL)  
 PREPARED SUBGRADE OR COMMON FILL

150Ø PERFORATED PVC PIPE SUB-DRAIN SYSTEM AND DRAINAGE GRAVEL  
 SEE DETAIL

12/108 13/108



**7 DETAIL - BERM TIE-IN - WEST SIDE**  
 104 1:50

**TYPICAL FLOOR STRUCTURE**  
 500 SELECT WASTE (PLACED BY OTHERS)  
 200 DRAINAGE SAND LAYER  
 2-SIDED GEOCOMPOSITE DRAINAGE LAYER  
 60mil HDPE LINER (2-SIDED TEXTURED)  
 1100 COMPACTED CLAY LINER (CCL)  
 PREPARED SUBGRADE

**TYPICAL LEACHATE TRENCH**  
 SEE DETAIL

**TRENCH INVERT ELEVATION CONTROL**  
 SEE DWG. 104



**PERMIT TO PRACTICE**  
 JOURNEY ENGINEERING CORPORATION  
 PRELIMINARY 84149  
 DATE: 2023-01-13  
**PERMIT NUMBER: P013943**  
 The Association of Professional Engineers and Geoscientists of Alberta (A.P.E.G.A.)

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05	01	23		ISSUED FOR 90% REVIEW	MOH	MB
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07	11	20		ISSUED FOR 30% REVIEW	MOH	MB

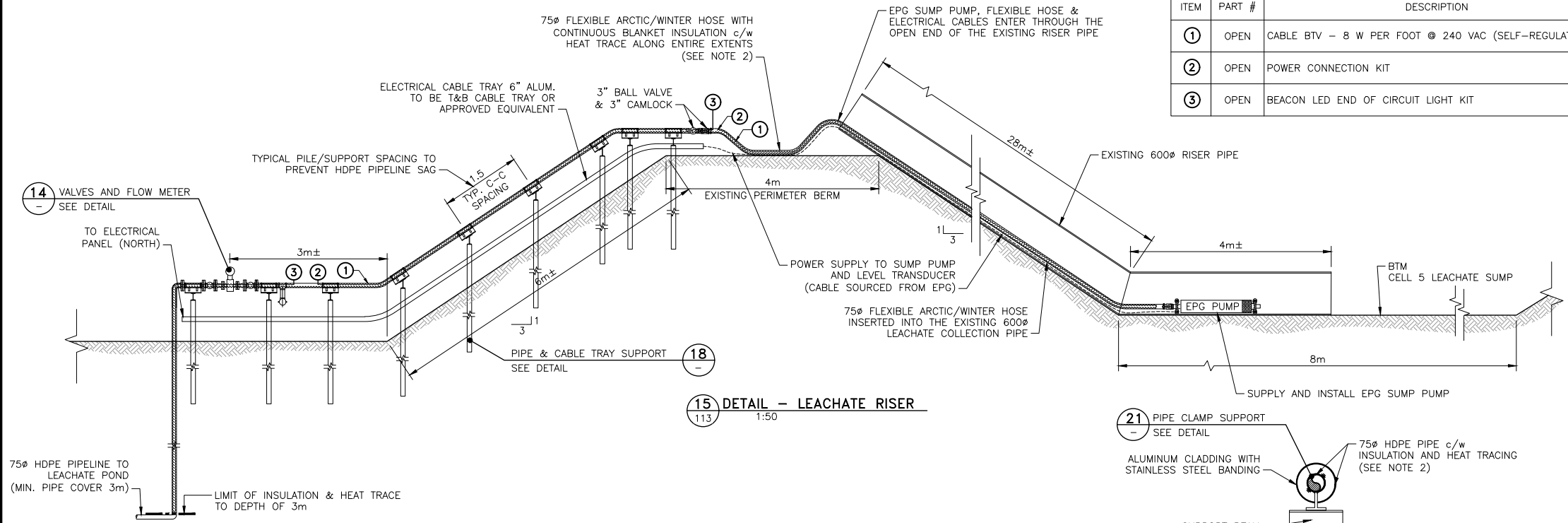
Designed By:  
**M. BELLMONT**  
 Drawn By:  
**M. O'HAGAN**  
 Checked By:  
**M. BELLMONT**  
 Approved By:  
**S. HERBST**

Project:  
**SOUTH WAPITI LANDFILL  
 CELL 6 EXPANSION**  
 Title:  
**CELL 6 DETAILS  
 (SHEET 4 OF 5)**

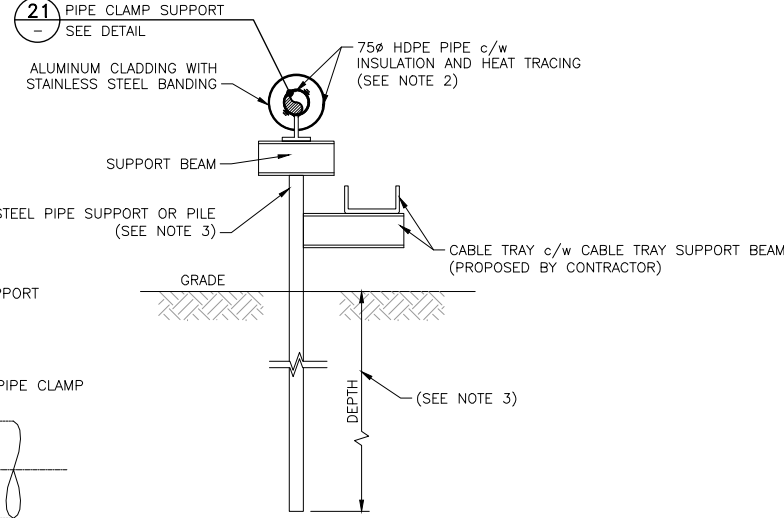
Project No.:  
 22076  
 CADD File:  
 22076-110.DWG  
 DATE: (yyyy-mm-dd):  
 2022-10-15  
 Drawing No.:  
 22076-110  
 Revision:  
 D

HEAT TRACING BILL OF MATERIALS			
ITEM	PART #	DESCRIPTION	QTY. (EACH LOCATION)
①	OPEN	CABLE BTW - 8 W PER FOOT @ 240 VAC (SELF-REGULATING)	TO SUIT TYP. 100 m
②	OPEN	POWER CONNECTION KIT	3
③	OPEN	BEACON LED END OF CIRCUIT LIGHT KIT	3

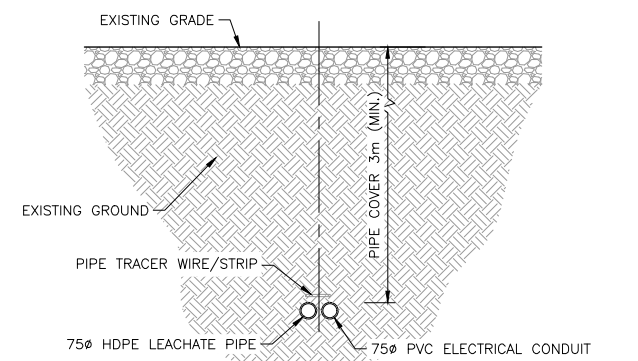
- NOTES:
- DRAWING UNITS AND DIMENSIONS ARE IN MILLIMETERS, UNLESS NOTED OTHERWISE.
  - INSULATE AND HEAT TRACE ALL PROPOSED PIPING ABOVE AND TO 3m BELOW GROUND RISERS. INSULATION TO BE 38mm THICK MINERAL FIBRE OR CALCIUM SILICATE WITH ALUMINUM CLADDING AND STAINLESS STEEL BANDING. INSULATION BLANKETS TO BE USED ON ALL VALVES, FLANGES TO BE HARD INSULATED
  - PIPE SUPPORT OR PILE DESIGN INCLUDING INSTALLATION DEPTH BY CONTRACTOR TO SUPPORT LOADS REQUIRED.
  - WHERE MATERIALS PROPOSED BY CONTRACTOR, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURE DATA FOR REVIEW BY ENGINEER PRIOR TO INSTALLATION.
  - ALL STEEL INCLUDING PIPE PILES/SUPPORTS AND BEAMS TO BE PAINTED BLACK.



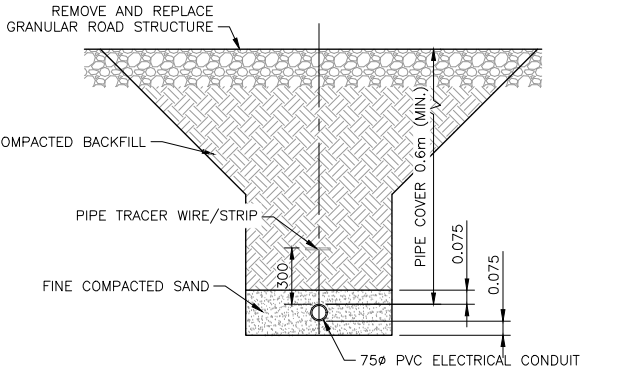
15 DETAIL - LEACHATE RISER  
113 1:50



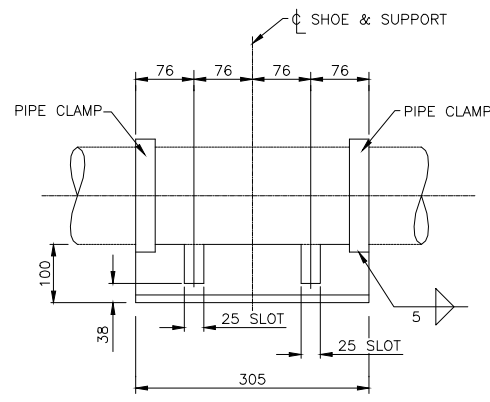
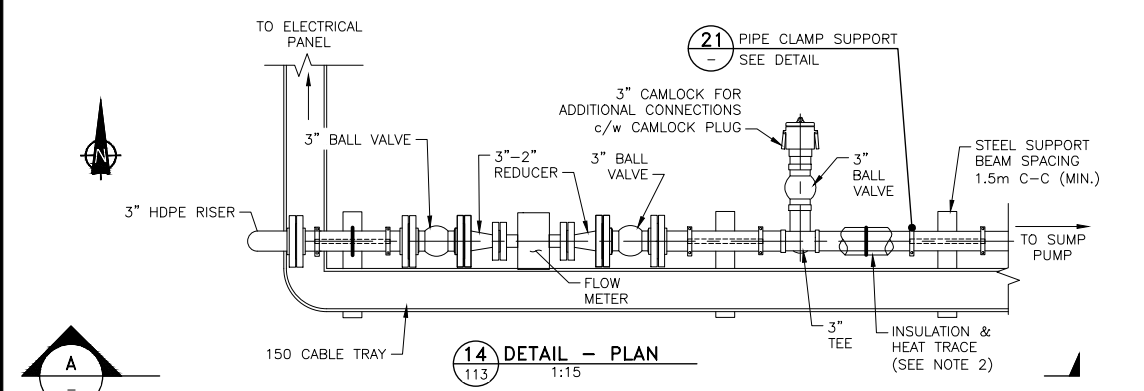
18 DETAIL - PIPE SUPPORT DETAIL  
1:15



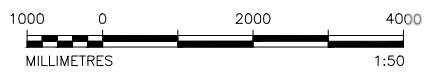
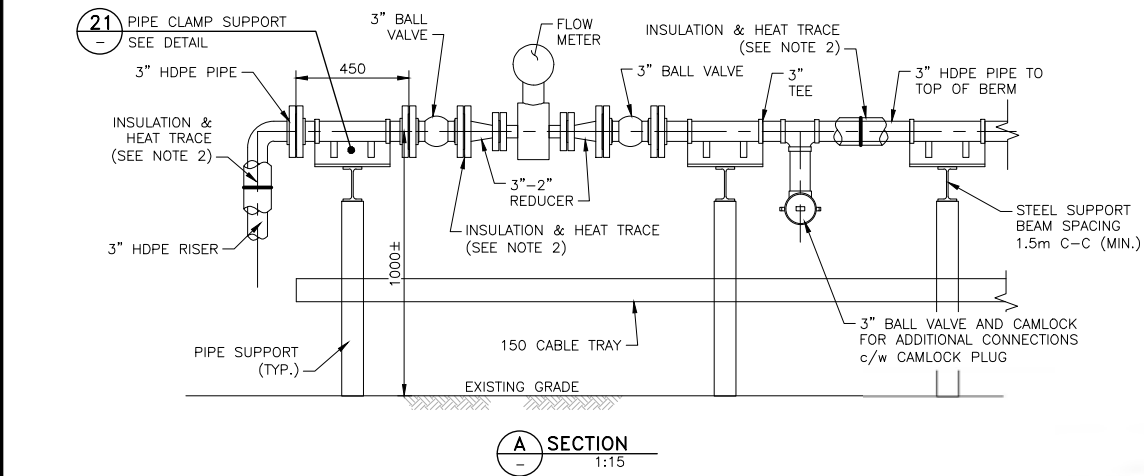
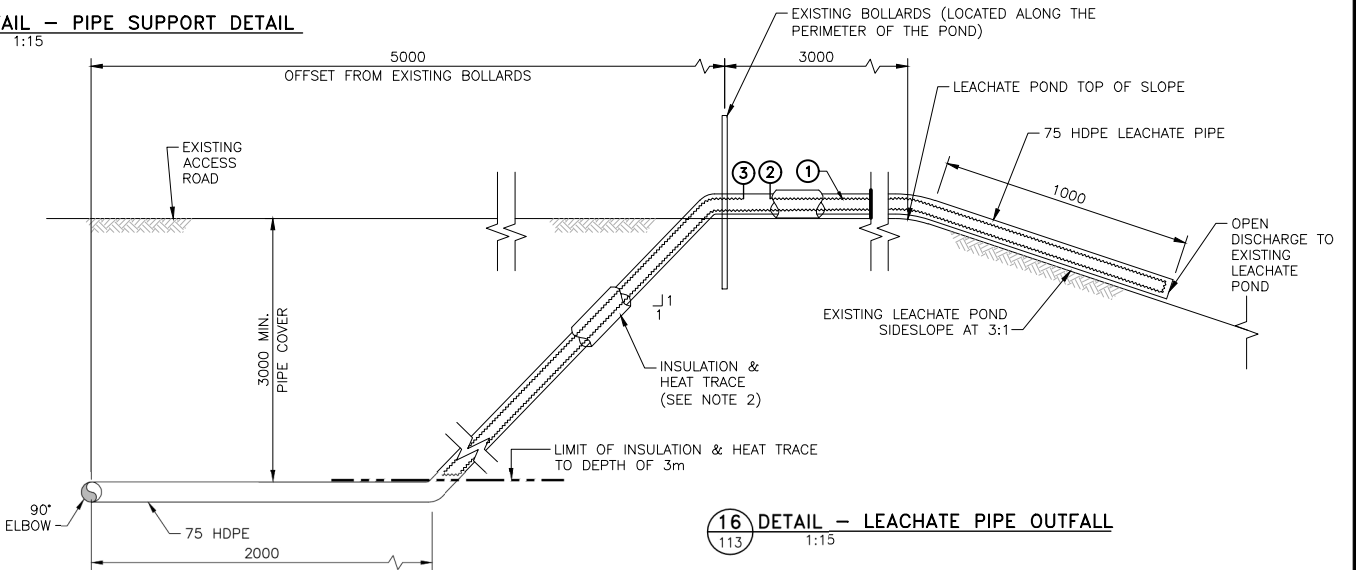
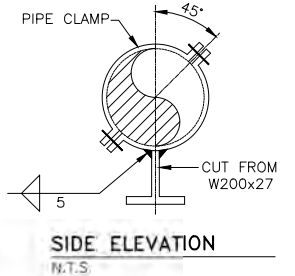
17 DETAIL - TRENCHLESS PIPE & ELECTRICAL CONDUIT  
113 1:20



17A DETAIL - ELECTRICAL CONDUIT TRENCH  
113 1:20



21 PIPE CLAMP SUPPORT N.T.S.



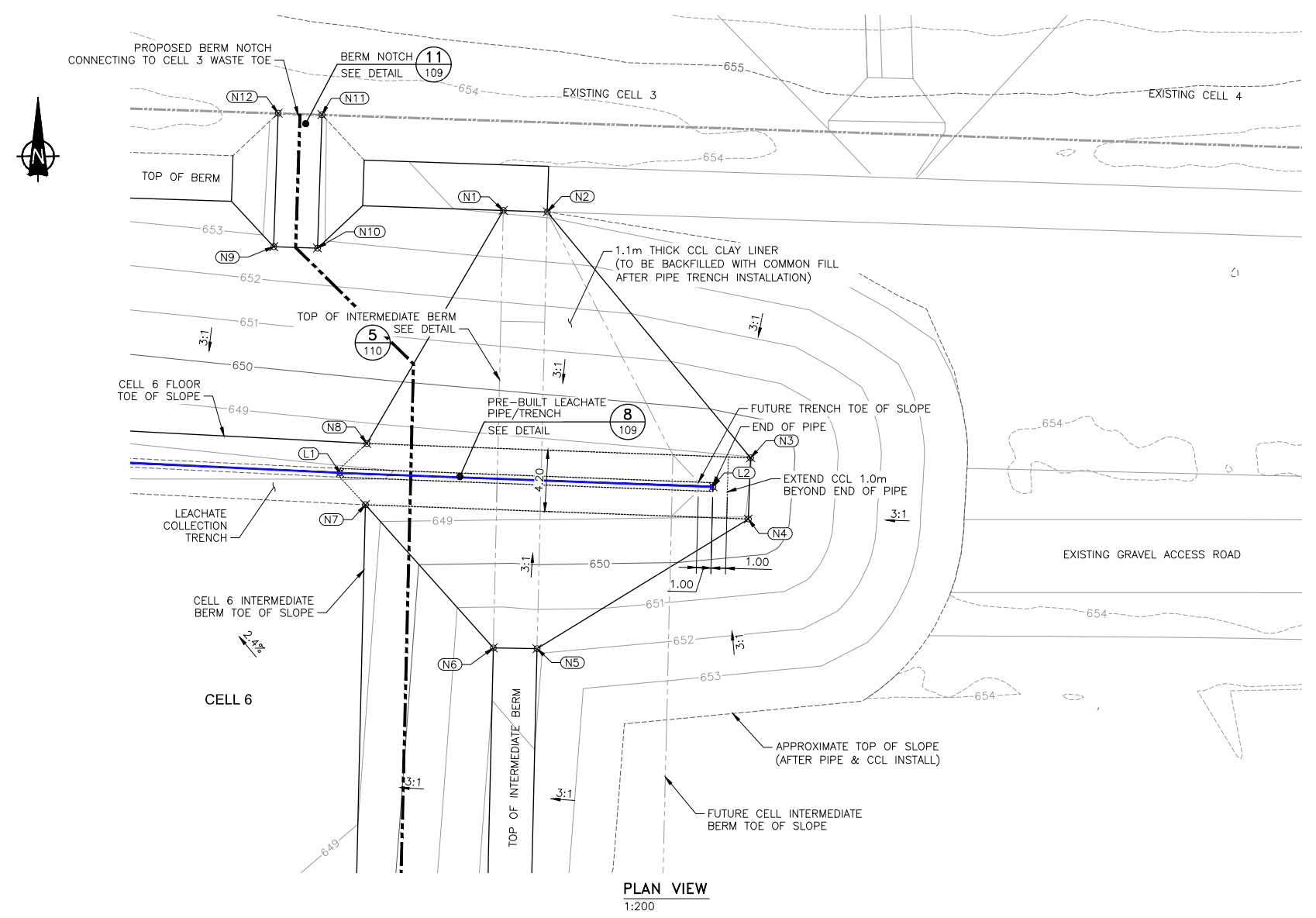
<p>PROFESSIONAL ENGINEER MARTIN BELLMONT ALBERTA</p> <p>2023-01-13 ID# 195592</p>	<p>PERMIT TO PRACTICE JOURNEY ENGINEERING CORPORATION</p> <p>PROBATIONARY # 84149</p> <p>DATE: 2023-01-13</p> <p>PERMIT NUMBER: P013943</p> <p>The Association of Professional Engineers and Geoscientists of Alberta (A.P.E.G.A.)</p>	<p>13 01 23 ISSUED FOR PRICING MOH MB</p>	<p>BY ENG</p>
		<p>05 01 23 ISSUED FOR 90% REVIEW MOH MB</p> <p>02 12 22 ISSUED FOR 60% REVIEW MOH MB</p> <p>07 11 20 ISSUED FOR 30% REVIEW MOH MB</p>	
<p>DESIGNED BY: M. BELLMONT</p> <p>DRAWN BY: M. O'HAGAN</p> <p>CHECKED BY: M. BELLMONT</p> <p>APPROVED BY: S. HERBST</p>		<p>PROJECT: SOUTH WAPITI LANDFILL CELL 6 EXPANSION</p> <p>TITLE: CELL 6 DETAILS (SHEET 5 OF 5)</p>	
<p>PROJECT NO.: 22076</p> <p>CADD FILE: 22076-111.DWG</p> <p>DATE: (yyy-mm-dd): 2022-10-15</p> <p>DRAWING NO.: 22076-111</p> <p>REVISION: D</p>			

- NOTES:**
- DRAWING UNITS AND DIMENSIONS ARE IN MILLIMETERS, UNLESS NOTED OTHERWISE.
  - SURVEY DATA FOR EXISTING WASTE PILE COVERAGE PROVIDED BY CHALLENGER GEOMATICS LTD. DATA FILE 42419-SOUTH-WAPITI.DWG DATED SEPT. 2022.

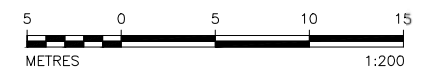
- LEGEND:**
- WASTE LIMIT ROPE EXTENTS
  - CELL 5 LEACHATE TRENCH AND HDPE PIPE
  - - - 645 EXISTING CONTOUR (5m INTERVAL)
  - - - EXISTING CONTOUR (1m INTERVAL)
  - - - 645 PROPOSED CONTOUR (5m INTERVAL)
  - - - PROPOSED CONTOUR (1m INTERVAL)
  - ### COORDINATE CONTROL POINT (SEE TABLES)

LEACHATE TRENCH POINT TABLE TRENCH INVERT ELEV.			
POINT ID	NORTHING	EASTING	INVERT ELEV. (m)
L1	6095146.590	387224.225	647.944
L2	6095145.631	387249.810	648.388

BERM NOTCH POINT TABLE TOP OF CCL			
POINT ID	NORTHING	EASTING	ELEV. (m)
N1	6095164.581	387235.433	654.073
N2	6095164.481	387238.447	654.135
N3	6095147.622	387252.390	648.974
N4	6095143.426	387252.234	649.052
N5	6095134.537	387237.747	651.876
N6	6095134.588	387234.745	651.936
N7	6095144.404	387225.976	648.611
N8	6095148.604	387226.073	648.537
N9	6095162.095	387219.688	652.763
N10	6095161.995	387222.687	652.820
N11	6095171.145	387222.992	652.889
N12	6095171.245	387219.994	652.826



**PLAN VIEW**  
1:200



**PERMIT TO PRACTICE**  
JOURNEY ENGINEERING CORPORATION  
PROFESSIONAL ENGINEER  
TRANSFER # 84149  
DATE: 2023-01-13  
**PERMIT NUMBER: P013943**  
The Association of Professional Engineers and Geoscientists of Ontario (A.P.E.G.O.)

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07	11	20		ISSUED FOR 30% REVIEW	MOH	MB

Designed By: [Redacted]  
 Drawn By: [Redacted]  
 Checked By: [Redacted]  
 Approved By: [Redacted]

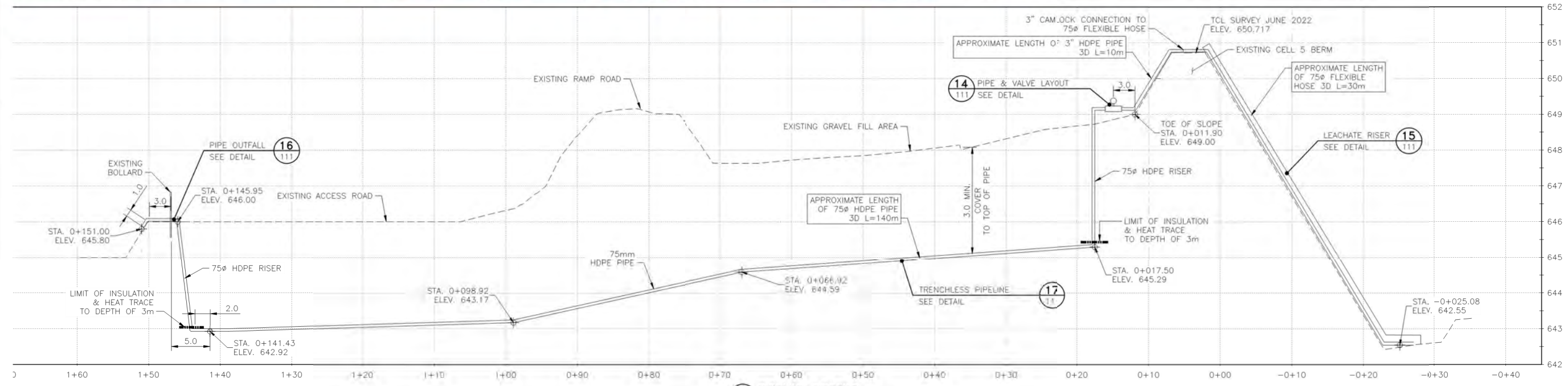
M. BELLMONT  
 M. O'HAGAN  
 M. BELLMONT  
 S. HERBST

**Project:** SOUTH WAPITI LANDFILL  
CELL 6 EXPANSION  
  
**Title:** CELL 6  
BERM NOTCH DESIGN

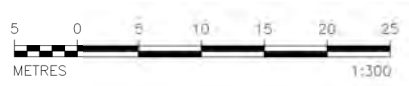
**Project No.:** 22076  
**CADD File:** 22076-112.DWG  
**DATE: (yyy-mm-dd):** 2022-10-15  
**Drawing No.:** 22076-112  
**Revision:** D



- NOTES:**
1. DIMENSIONS, COORDINATES AND ELEVATIONS (GEODETIC) ARE IN METERS AND DECIMALS THEREOF.
  2. COORDINATES ARE UTM NAD 83 (GRID) ZONE 11N.
  3. SURVEY DATA FOR EXISTING WASTE PILE COVERAGE PROVIDED BY CHALLENGER GEOMATICS LTD. DATA FILE 42419-SOUTH-WAPITI.DWG DATED SEPT. 2022.
  4. PIPELINE AND ELECTRICAL CONDUIT MUST BE INSTALLED BY TRENCHLESS METHODS AS INDICATED ON THIS DRAWING TO AVOID INTERRUPTING SECURE ENERGY OPERATIONS ROAD ACCESS.
  5. CONTRACTOR TO LOCATE ALL EXISTING UTILITIES TO AVOID CONFLICT PRIOR TO WORK.
  6. ALIGNMENT SHOWN TO BE CONFIRMED BY CONTRACTOR.
- LEGEND:**
- LEACHATE PIPELINE
  - ELECTRICAL CONDUIT/CABLE TRAY
  - EXISTING CONTOUR (5m INTERVAL)
  - EXISTING CONTOUR (1m INTERVAL)



**(A) PIPELINE PROFILE**  
1:300 HOR. 1:60 VERT (5x)



**PERMIT TO PRACTICE**  
JOURNEY ENGINEERING CORPORATION  
MARTIN BELLMONT  
ID# 84149  
DATE: 2023-01-15  
PERMIT NUMBER: P013943  
The Association of Professional Engineers and Geoscientists of Alberta (A.P.E.G.A.)

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07	11	21		ISSUED FOR 30% REVIEW	MOH	MB

Assigned By:  
**M. BELLMONT**  
Drawn By:  
**M. O'HAGAN**  
Checked By:  
**M. BELLMONT**  
Approved By:  
**S. HERBST**

Project:  
**SOUTH WAPITI LANDFILL  
CELL 6 EXPANSION**  
Title:  
**CELL 5 LEACHATE PIPELINE  
TO LEACHATE POND**

Project No.:  
**22076**  
CADD File:  
**22076-113.DWG**  
DATE: (yyyy-mm-dd):  
**2022-10-15**  
Drawing No.:  
**22076-113**  
Revision:  
**D**

CONDUIT OR CABLE TAG	APPLICATION	LOAD		ROUTING			LENGTH (METERS)	CONDUIT SIZE	CABLE TYPE	INSULATION		CONDUCTORS			REMARKS
		HP OR KVA	VOLTS	FROM	VIA	TO				VOLTS	TYPE	SIZE	QTY.	SPARE	
	POWER		480	EVAPORATOR UNIT METER BASE	CABLE TRAY	EVAPORATOR UNIT 200A SPLITTER	5	N/A	TECK 90	600	AL	4/0	3		
	POWER		480	EVAPORATOR UNIT 200A SPLITTER	CABLE TRAY	100A DISCONNECT EVAPORATOR UNIT	5	N/A	TECK 90	600	AL	4/0	3		
	POWER		480	100A DISCONNECT EVAPORATOR UNIT	U/G	LEACHATE PANEL 200A SPLITTER	15	N/A	TECK 90	600	AL	4/0	3		
	POWER		480	LEACHATE PANEL 200A SPLITTER		30 AMP DISCONNECT	3	N/A	TECK 90	600	RW90	8	3		
	POWER		480	30 AMP DISCONNECT	CABLE TRAY	EPG LEACHATE PUMP CONTROLLER	3	N/A	TECK 90	600	RW90	10	3		
	POWER		480	LEACHATE PANEL 200A SPLITTER		30 AMP DISCONNECT	5	N/A	TECK 90	600	RW90	8	3		
	POWER		480	30 AMP DISCONNECT	CABLE TRAY	LIGHTING TRANSFORMER 25kVA			TECK 90	600	RW90	8	3		
	POWER		480	EPG LEACHATE PUMP CONTROLLER	CABLE TRAY	LEACHATE PUMP	45	N/A	SOOW	1000	RW90	10	3	CABLE SUPPLIED BY EPG	
	LIGHTING		120/208	24kVA LIGHTING TRANSFORMER	CABLE TRAY	LIGHTING PANEL	3	N/A	TECK 90	600	RW90	2	3		
	LIGHTING		120/208	LIGHTING PANEL	CABLE TRAY	HEAT TRACE PERMANENT PIPING	10	N/A	TECK 90	600	RW90	10	2		
	LIGHTING		120/208	LIGHTING PANEL	CABLE TRAY	HEAT TRACE FLEX HOSE FOR LEACHATE PUMP	25	N/A	TECK 90	600	RW90	10	2		
	LIGHTING		120/208	LIGHTING PANEL	CABLE TRAY	PANEL RECEPTACLE	1	N/A	TECK 90	600	RW90	12	4		
	LIGHTING		120/208	LIGHTING PANEL	CABLE TRAY	FLOODLIGHTS	5	N/A	TECK 90	600	RW90	12	2		
	ANALOG		24VDC	EPG LEACHATE PUMP CONTROLLER	CABLE TRAY	LEACHATE FLOW METER	15	N/A	TECK 90	300	BELDEN	18	2PR		
	ANALOG		24VDC	EPG LEACHATE PUMP CONTROLLER	CABLE TRAY	LEACHATE LEVEL SENSOR BREAK OUT BOX	5	N/A	TECK 90	300	BELDEN	18	1PR		
	ANALOG		24VDC	LEACHATE LEVEL SENSOR BREAK OUT BOX	CABLE TRAY	LEACHATE LEVEL SENSOR	45	N/A	SOOW	300	BELDEN	18	1PR	CABLE SUPPLIED BY EPG	

- GENERAL NOTES:**
- ALL ELECTRICAL MATERIALS AND CONSTRUCTION TO BE IN COMPLIANCE WITH THE CANADIAN ELECTRICAL CODE CSA C22.1:21, THE ALBERTA ELECTRICAL UTILITY CODE, 2015, AND ANY OTHER APPLICABLE REGULATIONS.
  - THE CONTRACTOR SHALL CONFIRM THE EXISTING SITE CONDITIONS PRIOR TO THE COMPLETION OF ELECTRICAL WORK.
  - INSTALL EQUIPMENT ACCORDING TO MANUFACTURER INSTALLATION INSTRUCTIONS.
  - ALL WIRING AND COMPONENTS TO BE WEATHERPROOF.
  - EVAPORATOR BUILDING AND LEACHATE POWER STAND ARE GENERAL PURPOSE. ANY WIRING ON THE LEACHATE PIPE RACK SHALL BE C122.
  - CONTRACTOR TO PROPOSE CABLE TRAY AND COMPONENTS AND SUBMIT MANUFACTURER DOCUMENTATION TO ENGINEER FOR REVIEW PRIOR TO INSTALLATION.

- EVAPORATOR BUILDING POWER DISTRIBUTION:**
- THE EVAPORATOR BUILDING POWER COMES FROM A TRANSFORMER BY THE MAIN LANDFILL OFFICE. IT RUNS THROUGH A 200A FUSED DISCONNECT ON A STAND NEAR THE EVAPORATOR. FROM THE 200A FUSED DISCONNECT IT RUNS TO A METER BASE MOUNTED ON THE EVAPORATOR UNIT WALL, THEN INTO THE BUILDING TO A TRANSFER SWITCH.
  - MOUNT AND GROUND A 200A 3-PHASE 4 WIRE SPLITTER ON THE EVAPORATOR BUILDING WALL ALONG WITH A 100A FUSED DISCONNECT THAT WILL SUPPLY POWER TO THE LEACHATE SYSTEM. (REFER TO DRAWING NO. 22076-116)
  - REMOVE THE EVAPORATOR UNIT POWER FEED FROM THE METER BASE AND INTO THE SPLITTER.
  - INSTALL A NEW FEED FROM THE METER BASE TO THE SPLITTER.
  - INSTALL CELL 5 LEACHATE PANEL CABLE IN UNDERGROUND HDPE FROM THE EVAPORATOR UNIT TO THE LEACHATE PANEL.
  - LAND AND TERMINATE CELL 5 LEACHATE PANEL FEEDER CABLE IN 100A FUSED DISCONNECT ON EVAPORATOR BUILDING.

- LEACHATE POWER STAND:**
- CONTRACTOR TO PROPOSE LEACHATE POWER STAND SIMILAR TO SHOWN IN DRAWINGS. SUBMIT SHOP DRAWINGS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION. (REFER TO DRAWING NO. 22076-116)
  - FRAME TO BE STEEL, PAINTED BLACK, AND CONSTRUCTED TO SUPPORT THE WEIGHT OF ALL THE ELECTRICAL COMPONENTS WITH PROPOSED PILES OR FOUNDATION AS NECESSARY TO SUPPORT LOADS.
  - STEEL "ROOF" TO PROTECT THE COMPONENTS FROM WEATHER.
  - ELECTRICAL COMPONENTS TO BE MOUNTED ON A 4'X8' SHEET OF 3/4" PAINTED (GREY) PLYWOOD.
  - CONTRACTOR TO SUPPLY: SPLITTER, DISCONNECTS, TRANSFORMER, LIGHTING PANEL, FLOOD LIGHTS (PHOTO-EYE), CABLES, AND MATERIAL TO WIRE THE STANDS AS PER DRAWINGS.
  - CONTRACTOR TO SUPPLY AND INSTALL LEACHATE PUMP CONTROL PANEL, LEACHATE PUMP, LEVEL SENSOR BREAKOUT BOX, MOTOR LEAD BREAKOUT BOX, LEVEL SENSOR, AND FLOW METER SOURCED FROM EPG.

- LEACHATE SYSTEM WIRING:**
- INSTALL AND GROUND 150mm CABLE TRAY FROM UNDERGROUND POWER TO LEACHATE RISER ON THE TOP OF THE BERM.
  - LEACHATE PUMP LEADS AND LEVEL SENSOR LEADS ARE TO BE ATTACHED TO THE FLEXIBLE HOSE AND LOWERED INTO THE LEACHATE RISER. AS THE HOSE IS BEING LOWERED, TIE WRAP THE PUMP MOTOR CABLE AND SENSOR CABLE TO THE HOSE.
  - LEACHATE PUMP, PANEL, FLOW METER, BREAKOUT BOX, AND LEAD INSTALLATION TO BE COMPLETED PER EPG MANUFACTURER INSTALLATION INSTRUCTIONS.
  - INSTALL THE PUMP FEEDER CABLE AND SENSOR CABLE IN THE CABLE TRAY BACK TO THE LEACHATE POWER STAND.
  - LAND AND TERMINATE THE MOTOR FEEDER IN THE LEACHATE CONTROL PANEL AS PER THE EPG DRAWINGS AND INSTALLATION INSTRUCTIONS.
  - LAND AND TERMINATE THE LEVEL SENSOR IN THE LEVEL SENSOR BREAKOUT BOX ON THE LEACHATE STAND.

- HEAT TRACE:**
- INSTALL 240V, 8WPF SELF-REGULATING HEAT TRACE DOUBLE PASS ON ALL LINES. MAX 300' PER CCT.
  - ALL WIRING WILL BE #10AWG.
  - BREAKER WILL BE 2 POLE GFCL.
  - THE LEACHATE PIPING IS BROKEN INTO TWO PARTS. ONE PART IS THE PIPE RACK PIPING THAT IS STATIONARY. THE SECOND PART IS THE LEACHATE PUMP HOSE AND REMOVABLE CONNECTION.
  - INSTALL ONE SECTION OF HEAT TRACE 3 M BELOW GRADE ONTO THE PIPE RACK AND UP THE BERM TO THE CAM LOCK CONNECTION.
  - INSTALL ANOTHER INDEPENDENT SECTION OF HEAT TRACE FROM THE CAM LOCK CONNECTION ONTO THE HOSE AND DOWN THE LEACHATE RISER.

- START UP AND COMMISSIONING:**
- COMPLETE START-UP AND COMMISSIONING IN STRICT ACCORDANCE WITH EPG MANUFACTURER COMMISSIONING PROCEDURES AND INSTALLATION INSTRUCTIONS. COMPLETE ALL MANUFACTURER PROVIDED INSTALLATION AND COMMISSIONING RECORD DOCUMENTATION.
  - PERFORM ALL TESTS AS PER THE EPG MANUFACTURER START-UP FORM.
  - PROVIDE RECORD DRAWINGS AND INSTALLATION DOCUMENTATION.
  - COMPLETE MAGGER FORMS FOR CABLE AND HEAT TRACE INSTALL.



**PLAN VIEW**  
1:750

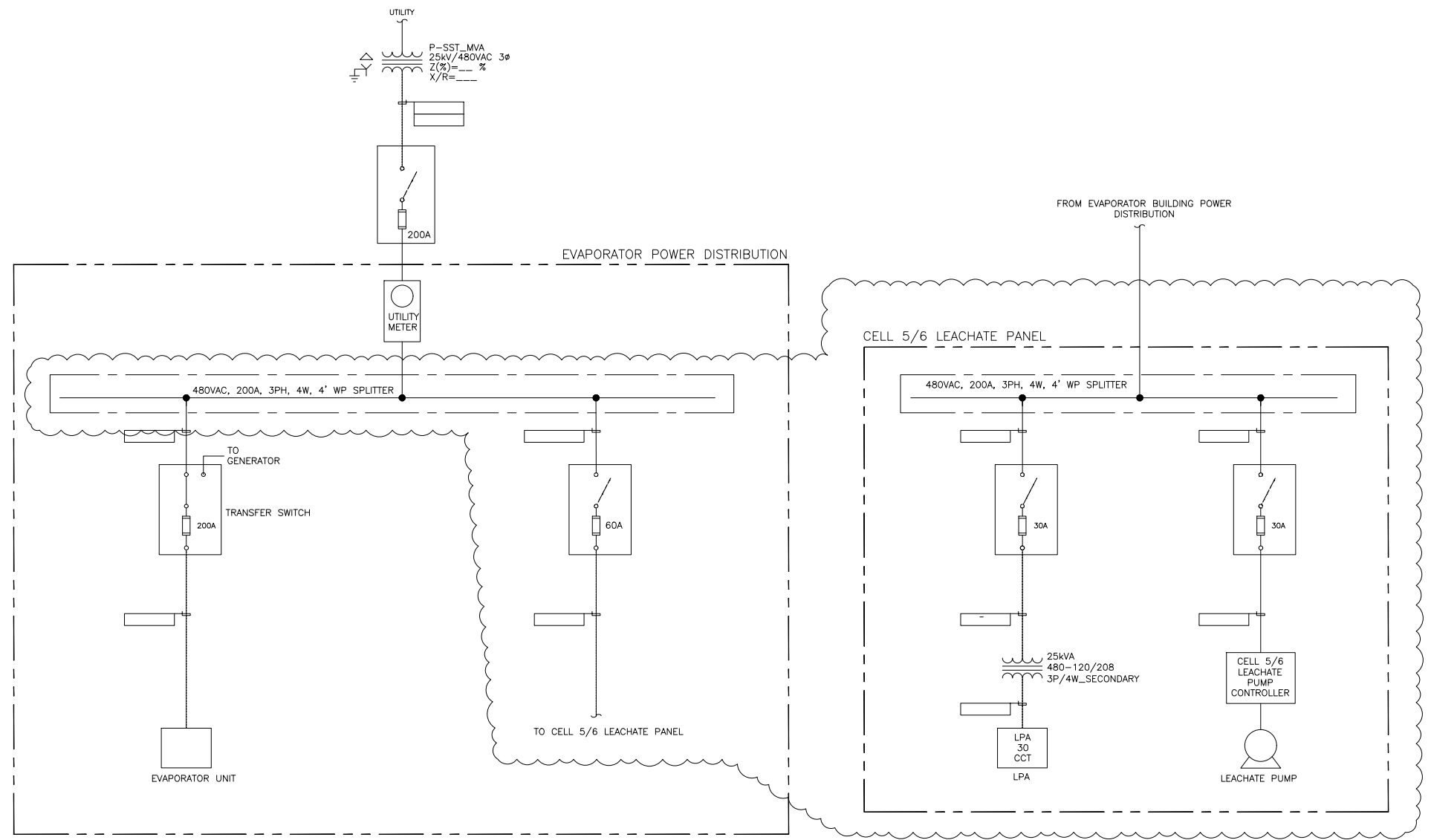
LPA DISTRIBUTION PANEL														
LOAD DESCRIPTION	WATTS			TRIP AMPS	BKR. NO.	BUS			BKR. NO.	TRIP AMPS	WATTS			LOAD DESCRIPTION
	ØA	ØB	ØC			ØA	ØB	ØC			ØA	ØB	ØC	
YARD LIGHT (c/w PHOTO CELL)				15A	1	●			2	30A GFI				LEACHATE LINE HEAT TRACE ABOVE GROUND PERMANENT PIPING
				15A	3		●		4					
PANEL RECEPTACLE				15A	5			●	6	30A GFI				LEACHATE LINE HEAT TRACE HOSE DOWN TO THE SUMP PUMP
PANEL RECEPTACLE				15A	7	●			8					
SPACE				15A	9			●	10					
SPACE					11				12					
SPACE					13	●			14					
SPACE					15			●	16					
SPACE					17				18					
SPACE					19	●			20					
SPACE					21			●	22					
SPACE					23				24					
SPACE					25	●			26					
SPACE					27			●	28					
SPACE					29				30					

NOTES:

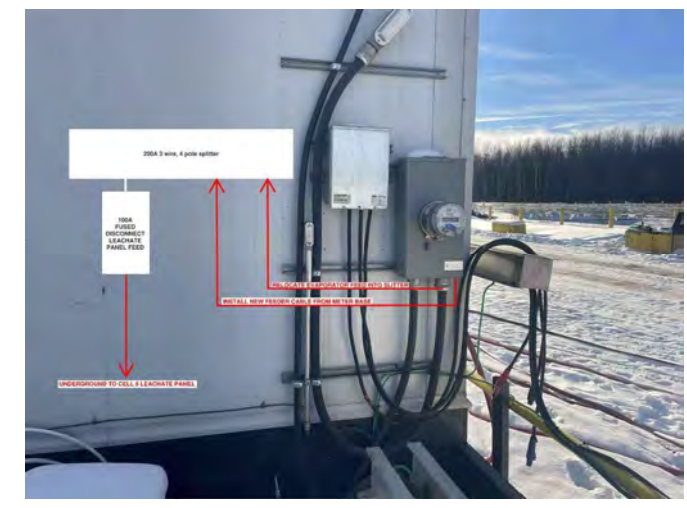
REV	D	M	Y	ISSUE/REVISION DESCRIPTION	BY	ENG.
13	01	23		ISSUED FOR PRICING	MOH	MB
05	01	23		ISSUED FOR 90% REVIEW	MOH	MB
02	12	22		ISSUED FOR 60% REVIEW	MOH	MB
07	11	22		ISSUED FOR 30% REVIEW	MOH	MB

Designed By: <b>M. BELLMONT</b>	Project: <b>SOUTH WAPITI LANDFILL CELL 6 EXPANSION</b>	Project No.: 22076
Drawn By: <b>M. O'HAGAN</b>	CADD File: 22076-114.DWG	DATE: (yyy-mm-dd): 2022-10-15
Checked By: <b>M. BELLMONT</b>	Title: <b>ELECTRICAL CABLE SCHEDULE AND GENERAL NOTES</b>	Drawing No.: 22076-114
Approved By: <b>S. HERBST</b>	Revision: D	





**480VAC SINGLE LINE DIAGRAM**  
N.T.S.



**EVAPORATOR BUILDING – NORTH SIDE**  
N.T.S.

REV	D	M	Y	ISSUE/REVISION DESCRIPTION	BY	ENG.
13	01	23		ISSUED FOR PRICING	MOH	MB
05	01	23		ISSUED FOR 90% REVIEW	MOH	MB
02	12	22		ISSUED FOR 60% REVIEW	MOH	MB
07	11	22		ISSUED FOR 30% REVIEW	MOH	MB

Designed By:	M. BELLMONT	Project:	SOUTH WAPITI LANDFILL CELL 6 EXPANSION	Project No.:	22076
Drawn By:	M. O'HAGAN	CADD File:	22076-115.DWG	DATE: (yyy-mm-dd):	2022-10-15
Checked By:	M. BELLMONT	Title:	ELECTRICAL SINGLE LINE DIAGRAM	Drawing No.:	22076-115
Approved By:	S. HERBST	Revision:	D		

February 17, 2023

File No.: 0202-239576

**RE: Secure Energy Services Inc. South Wapiti Class II Landfill  
*Environmental Protection and Enhancement Act* Approval No. 239576-01-00  
Landfill Cell 6 Construction Plan and Specifications and QA/QC Plan Authorization**

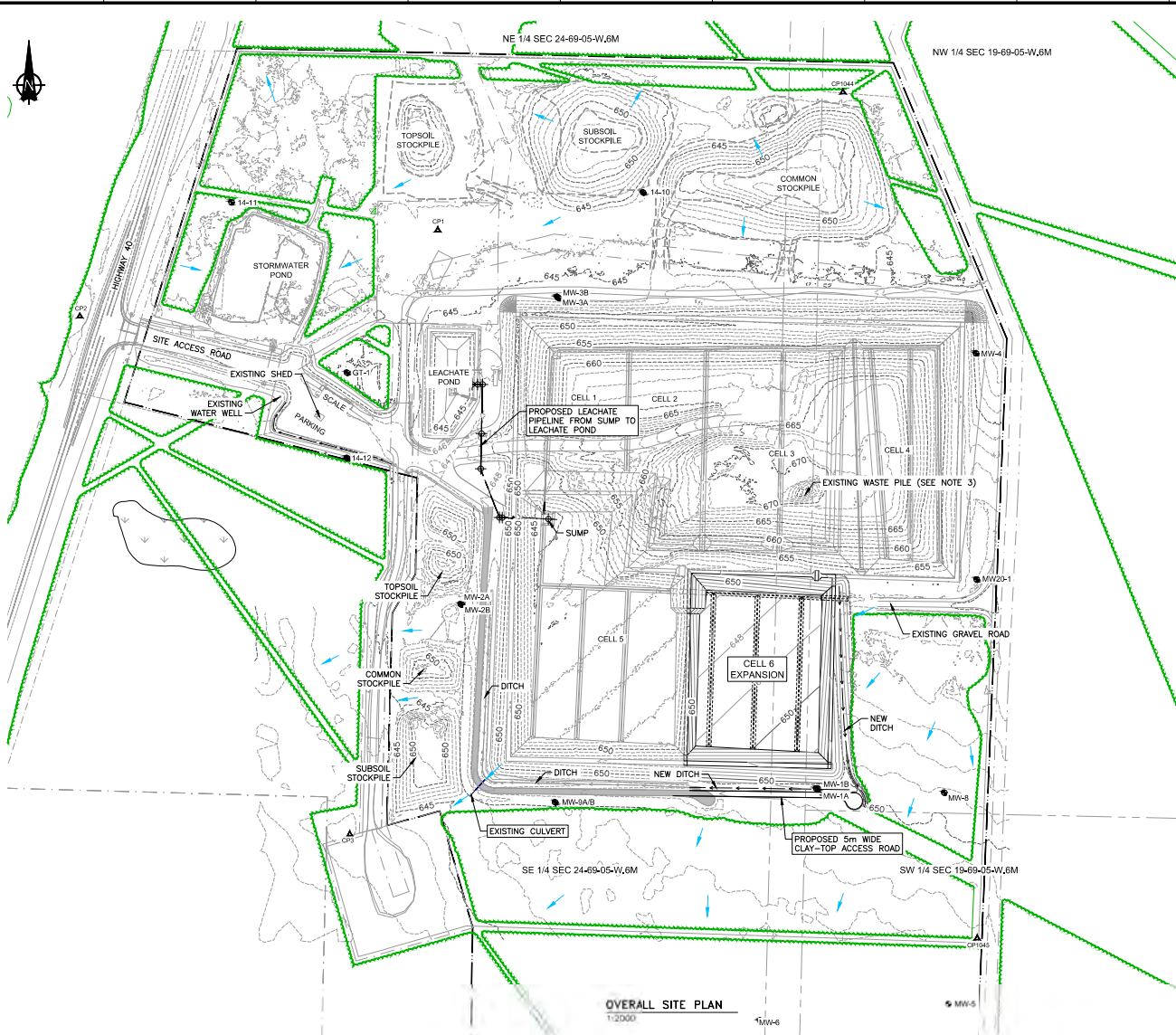
Thank you for your letter dated January 17, 2023 providing the Detailed Construction Plan and Specifications, the Construction Quality Assurance (QA) Plan, and the Construction Quality Control (QC) Plan for the South Wapiti Class II Landfill Cell 6 as required by section 3.1.2 of Approval 239576-01-00. Alberta Environment and Protected Areas (EPA) has reviewed your request relative to the *Environmental Protection and Enhancement Act* (EPEA) and the terms and conditions of your Approval.

As per condition 3.1.4 of your Approval, this letter serves as authorization to implement the Construction Plan and Specifications, the QA Plan, and the QC Plan as included in your submissions.

In addition, we remind you of your obligation to comply with the other requirements within your current approval. It is your responsibility to retain a copy of this letter and have it available for review, along with Approval No. 239576-01-00, when requested by EPA staff conducting an inspection.

If you have any questions, please contact

Yours truly,



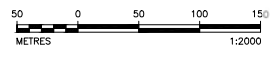
- NOTES:**
- DIMENSIONS, COORDINATES AND ELEVATIONS (GEODETIC) ARE IN METERS AND DECIMALS THEREOF.
  - COORDINATES ARE UTM NAD 83 (GRID) ZONE 11N.
  - SURVEY DATA FOR EXISTING WASTE PILE COVERAGE PROVIDED BY CHALLENGER GEOMATICS LTD. DATA FILE 42419-SOUTH-WAPITI.DWG DATED SEPT. 2022.

- LEGEND:**
- ▲ CP# SURVEY CONTROL POINT
  - MW# MONITORING WELL
  - MLL BOUNDARY
  - EXISTING SECURITY FENCELINE
  - EXISTING TREELINE
  - OVERLAND DRAINAGE DIRECTION
  - DRAINAGE DITCH
  - 645 EXISTING CONTOUR (5m INTERVAL)
  - 645 EXISTING CONTOUR (1m INTERVAL)
  - 645 PROPOSED CONTOUR (5m INTERVAL)
  - 645 PROPOSED CONTOUR (1m INTERVAL)

CONTROL POINT COORDINATE TABLE *			
POINT	NORTHING	EASTING	ELEVATION
CP1	6095480.382	386877.104	843.474
CP2	6095492.082	386552.045	842.819
CP3	6094931.698	386797.223	844.008
CP1044	6095605.627	387245.178	842.671
CP1045	6094837.319	387366.995	847.551

\* UTM NAD83 ZONE 11 GRID COORDINATE SYSTEM WITH ELLIPSOID ELEVATIONS.

OVERALL SITE PLAN  
1:2000



PERMIT TO PRACTICE  
JOURNEY ENGINEERING CORPORATION  
M. BELLMONT  
DATE: 2023-01-15  
PERMIT NUMBER: P013943

REV	D	M	Y	ISSUE/REVISION DESCRIPTION	BY	ENG
13	01	23		ISSUED FOR PRICING	MCH	MR
05	01	23		ISSUED FOR 90% REVIEW	MCH	MR
02	12	22		ISSUED FOR 60% REVIEW	MCH	MR
07	11	22		ISSUED FOR 30% REVIEW	MCH	MR



Designed By: M. BELLMONT  
Drawn By: M. O'HAGAN  
Checked By: M. BELLMONT  
Approved By: S. HERBST

Project: SOUTH WAPITI LANDFILL  
CELL 6 EXPANSION  
Title: SITE PLAN  
GENERAL ARRANGEMENT

Project No.: 22076  
CAD File: 22076-101.DWG  
Date: 2022-10-15  
Drawing No.: 22076-101  
Revision: D

**ALSA regional plans**

**618.3(1)** Anything done by any of the following under a provision in this Part or a regulation under this Part must be done in accordance with any applicable ALSA regional plan:

- (a) a municipality;
- (b) a council;
- (c) a municipal planning commission;
- (d) a subdivision authority;
- (e) a development authority;
- (f) a subdivision and development appeal board;
- (g) the Land and Property Rights Tribunal;
- (h) an entity to which authority is delegated under section 625(4).

**(2)** If there is a conflict or an inconsistency between anything that is done under a provision of this Part or a regulation under this Part and an applicable ALSA regional plan, the ALSA regional plan prevails to the extent of the conflict or the inconsistency.

2020 cL-2.3 s24(41);2020 c39 s10(6)

**Land use policies**

**618.4(1)** Every statutory plan, land use bylaw and action undertaken pursuant to this Part by a municipality, municipal planning commission, subdivision authority, development authority or subdivision and development appeal board or the Land and Property Rights Tribunal must be consistent with the land use policies established under subsection (2).

**(2)** The Lieutenant Governor in Council, on the recommendation of the Minister, may by regulation establish land use policies.

2020 cL-2.3 s24(41);2020 c39 s10(6)

**Division 1  
Other Authorizations, Compensation****NRCB, ERCB, AER, AEUB or AUC authorizations**

**619(1)** A licence, permit, approval or other authorization granted by the NRCB, ERCB, AER, AEUB or AUC prevails, in accordance with this section, over any statutory plan, land use bylaw, subdivision decision or development decision by a subdivision authority, development authority, subdivision and development appeal board, or the Land and Property Rights Tribunal or any other authorization under this Part.

(2) When an application is received by a municipality for a statutory plan amendment, land use bylaw amendment, subdivision approval, development permit or other authorization under this Part and the application is consistent with a licence, permit, approval or other authorization granted by the NRCB, ERCB, AER, AEUB or AUC, the municipality must approve the application to the extent that it complies with the licence, permit, approval or other authorization granted under subsection (1).

(3) An approval of a statutory plan amendment or land use bylaw amendment under subsection (2)

(a) must be granted within 90 days after the application or a longer time agreed on by the applicant and the municipality, and

(b) is not subject to the requirements of section 692 unless, in the opinion of the municipality, the statutory plan amendment or land use bylaw amendment relates to matters not included in the licence, permit, approval or other authorization granted by the NRCB, ERCB, AER, AEUB or AUC.

(4) If a municipality that is considering an application under subsection (2) holds a hearing, the hearing may not address matters already decided by the NRCB, ERCB, AER, AEUB or AUC except as necessary to determine whether an amendment to a statutory plan or land use bylaw is required.

(5) If a municipality does not approve an application under subsection (2) to amend a statutory plan or land use bylaw or the municipality does not comply with subsection (3), the applicant may appeal to the Land and Property Rights Tribunal by filing with the Tribunal

(a) a notice of appeal, and

(b) a statutory declaration stating why mediation was unsuccessful or why the applicant believes that the municipality was unwilling to attempt to use mediation.

(6) The Land and Property Rights Tribunal, on receiving a notice of appeal and statutory declaration under subsection (5),

(a) must commence a hearing within 60 days after receiving the notice of appeal and statutory declaration and give a written decision within 30 days after concluding the hearing, and

(b) is not required to notify or hear from any person other than the applicant and the municipality against whom the appeal is launched.

(7) The Land and Property Rights Tribunal, in hearing an appeal under subsection (6), may only hear matters relating to whether the proposed statutory plan or land use bylaw amendment is consistent with the licence, permit, approval or other authorization granted under subsection (1).

(8) In an appeal under this section, the Land and Property Rights Tribunal may

(a) order the municipality to amend the statutory plan or land use bylaw in order to comply with a licence, permit, approval or other authorization granted by the NRCB, ERCB, AER, AEUB or AUC, or

(b) dismiss the appeal.

(9) Section 692 does not apply when the statutory plan or land use bylaw is amended pursuant to a decision of the Land and Property Rights Tribunal under subsection (8)(a).

(10) A decision under subsection (8) is final but may be appealed by the applicant or the municipality in accordance with section 688.

(11) In this section, “NRCB, ERCB, AER, AEUB or AUC” means the Natural Resources Conservation Board, Energy Resources Conservation Board, Alberta Energy Regulator, Alberta Energy and Utilities Board or Alberta Utilities Commission.

(12) Repealed 2020 c39 s10(7).

RSA 2000 cM-26 s619;2007 cA-37.2 s82(14);2009 cA-26.8 s83;  
2012 cR-17.3 s95;2020 cL-2.3 s24(29);2020 c39 s10(7)

#### Conditions prevail

**620** A condition of a licence, permit, approval or other authorization granted pursuant to an enactment by the Lieutenant Governor in Council, a Minister, a Provincial agency or Crown-controlled organization as defined in the *Financial Administration Act* or a delegated person as defined in Schedule 10 to the *Government Organization Act* prevails over any condition of a development permit that conflicts with it.

1995 c24 s95

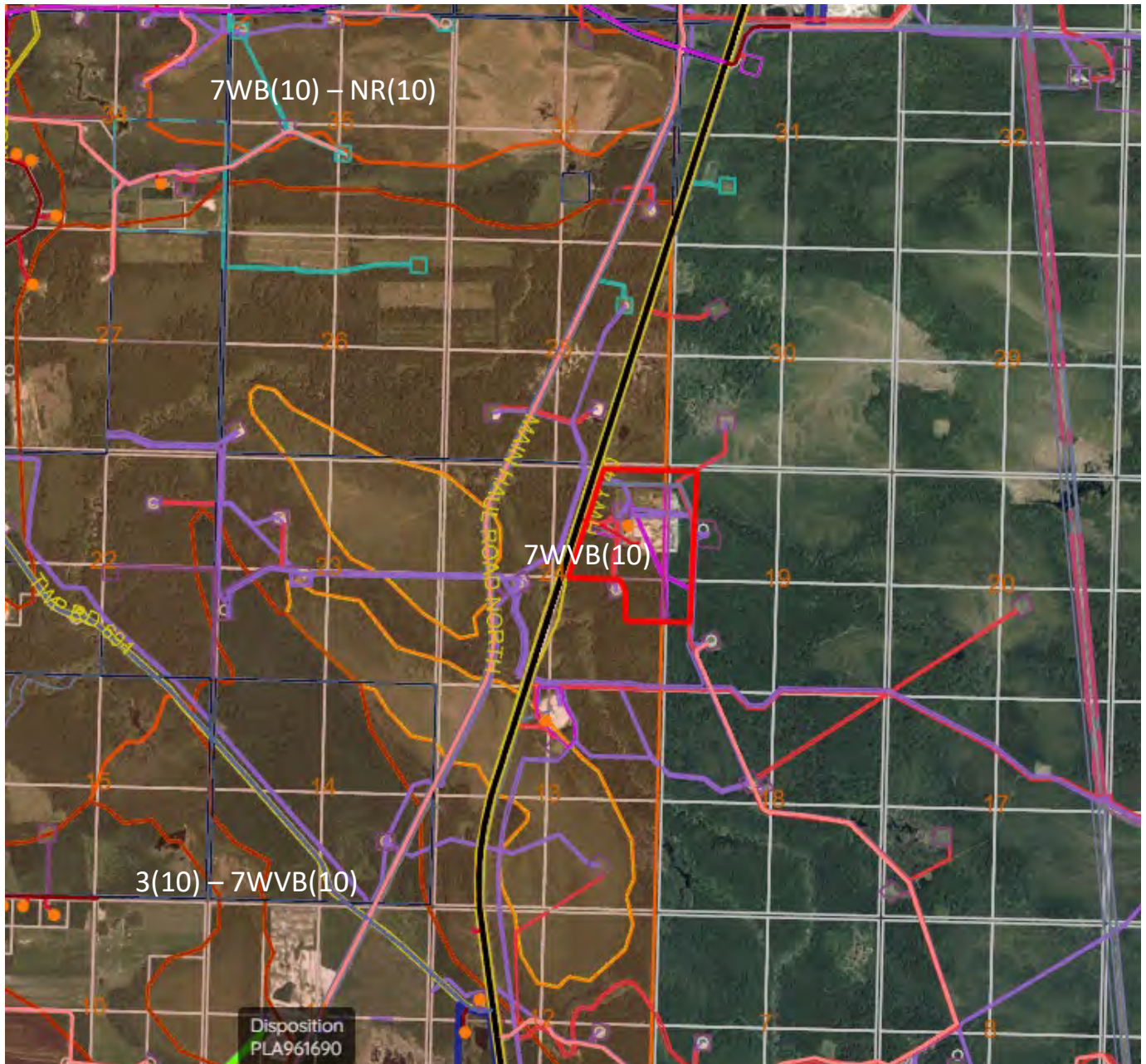
#### Compensation

**621(1)** Except as provided in this Part and in section 28 of the *Historical Resources Act*, nothing in this Part or the regulations or bylaws under this Part gives a person a right to compensation.

**AGRICULTURAL REGIONS OF ALBERTA SOIL INVENTORY DATABASE (AGRASID)  
LAND SUITABILITY RATING SYSTEM (LSRS)**

**FILE NO. D23-006  
APPLICANT: SECURE ENERGY SERVICES**

**LEGAL LOCATION: NE 24-69-06-W6M  
LANDOWNER: CROWN LANDS**



**Spring Grain Growth Limitations**

**3(10): Moderate limitation**

**7WVB(10): Unsuitable due to drainage and degree of decomposition or fibre content**

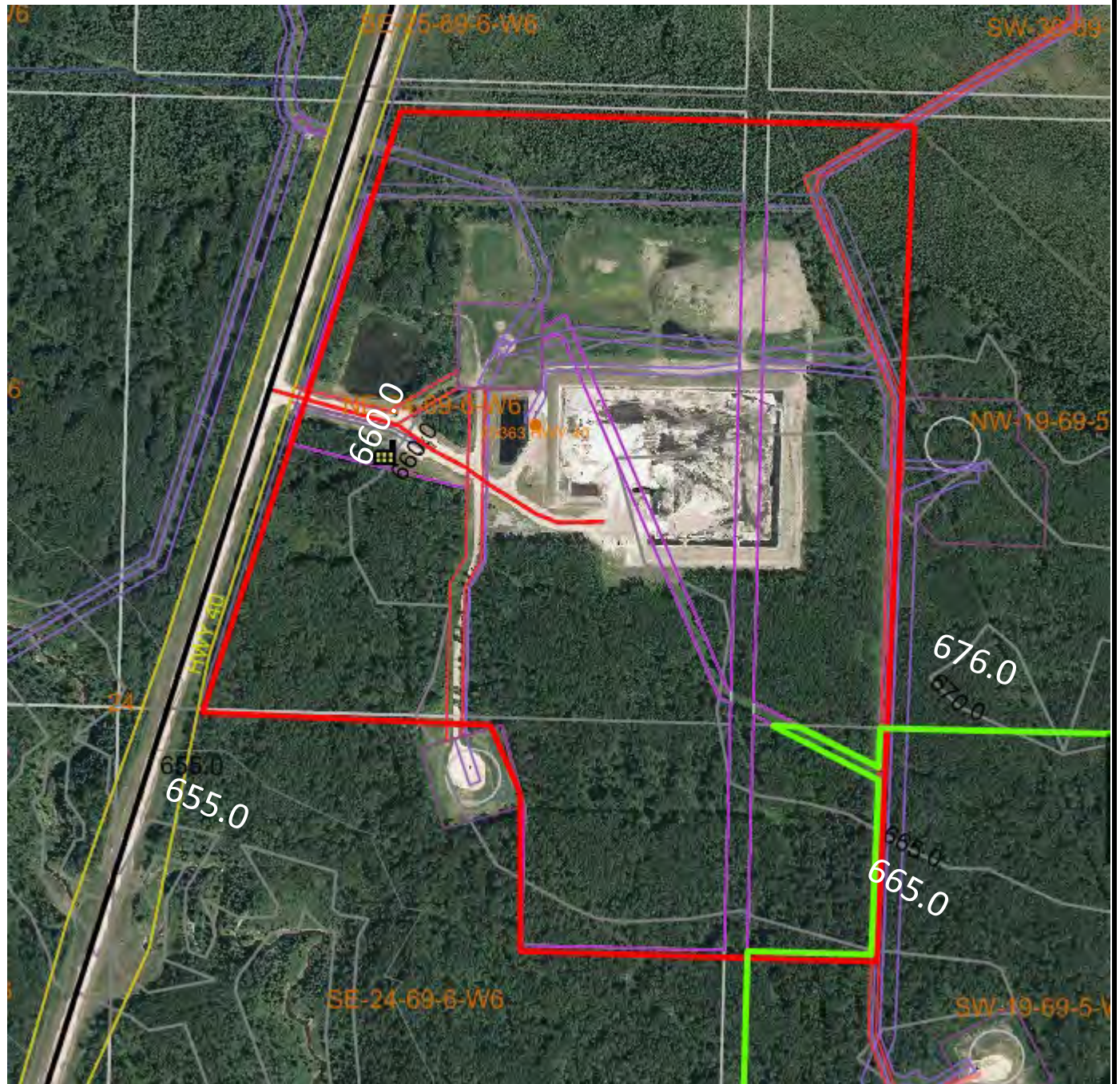
**SITE TOPOGRAPHY**

**FILE NO. D23-006**

**APPLICANT: SECURE ENERGY SERVICES**

**LEGAL LOCATION: NE 24-69-06-W6M**

**LANDOWNER: CROWN LANDS**





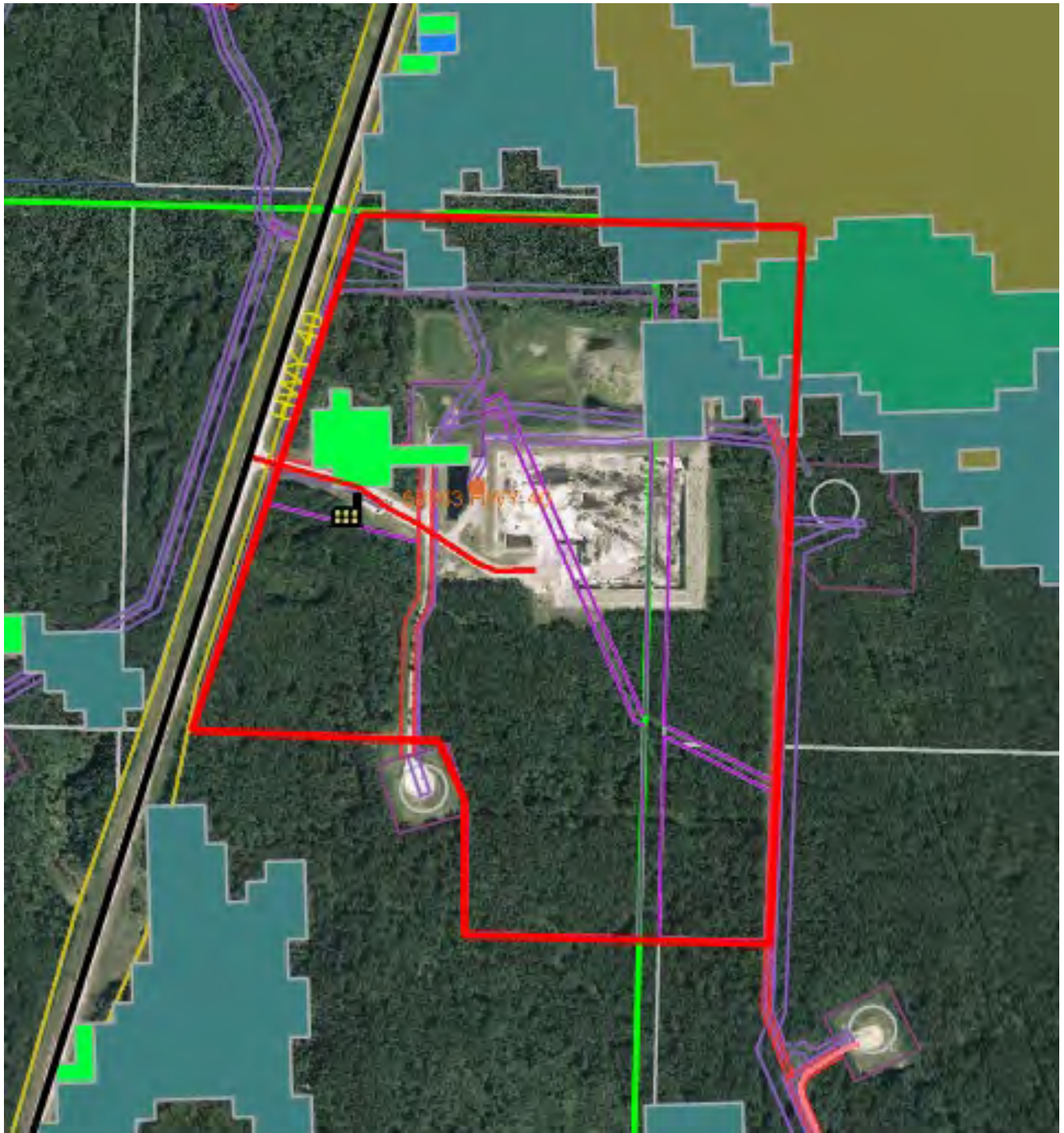
**WETLAND INVENTORY**

**FILE NO. D23-006**

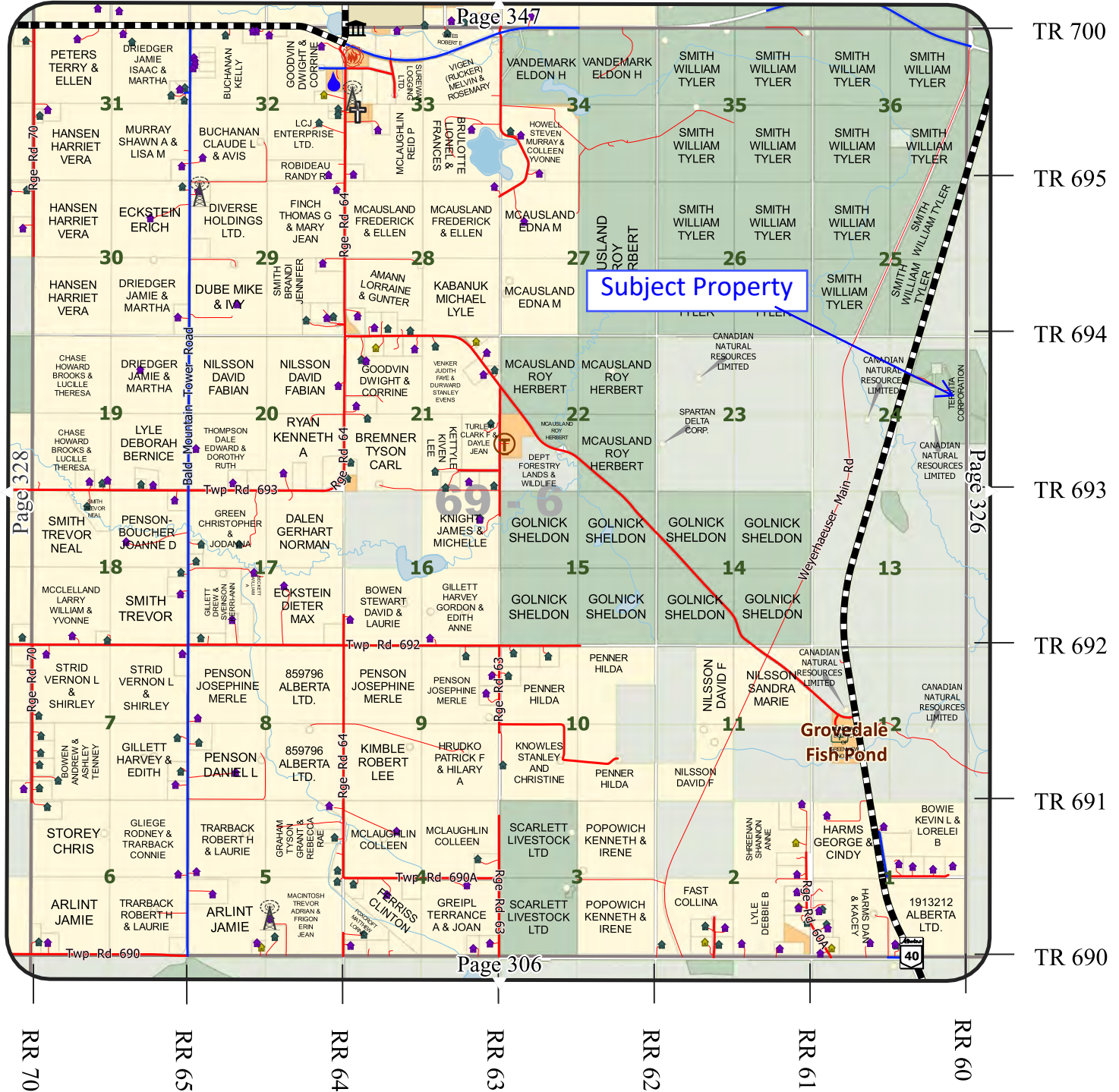
**APPLICANT: SECURE ENERGY SERVICES**

**LEGAL LOCATION: NE 24-69-06-W6M**

**LANDOWNER: CROWN LANDS**



# M.D. of Greenview No.16



Map printed: 2021-12-30

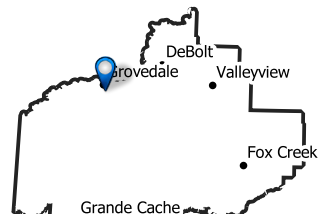
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Compiled from the Rural Cadastral Digital Base September 15, 2020, 1:20,000 Digital Base. Land Ownership compiled from municipal tax data, September 15, 2020. Building/Site/Feature information compiled from municipal assessment data, December 2019.

NOT RESPONSIBLE FOR ERRORS OR OMISSIONS





## REQUEST FOR DECISION

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SUBJECT: **D23-067 Enfinite Corporation – Discretionary Use - Utilities, Major in “A-1”**  
SUBMISSION TO: MUNICIPAL PLANNING COMMISSION      REVIEWED AND APPROVED FOR SUBMISSION  
MEETING DATE: March 14, 2022      DIRECTOR: MAV      PRESENTER: NF  
REPORT TYPE: Development Permit      MANAGER: SD      WRITER: NF

---

FILE NO.: D23-067      LAND USE DISTRICT: Agricultural One (A-1)  
LEGAL LOCATION: NW 8-69-8-W6M  
AREA: Grovedale  
APPLICANT: Enfinite LP by its General Partner Enfinite Corporation  
LANDOWNER: Patricia & Kenneth Trarback

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### BACKGROUND/PROPOSAL:

Administration has received an application for development to construct a new 40-Megawatt Battery Energy Storage Facility (BESF) in the Grovedale area, near the south end of Highway 666. The proposed use fits the definition of Utilities, Major which is a discretionary use within the Agricultural One (A-1) district which the property is zoned. The definition of Utilities, Major within Land Use Bylaw 18-800 is:

**UTILITIES, MAJOR** means development which is necessary for the local distribution of a public utility but has larger land requirements, and may have impacts on adjacent land uses and includes sanitary landfill sites, waste transfer stations, sewage treatment plants, sewage lagoons, sludge disposal beds, waste recycling plants, maintenance and equipment storage yards, surface reservoirs, water and sewage storage tanks, and water treatment plants.

The battery energy storage facility is proposed to be located on the west side of the property, permanently occupying approximately 1.04 ha (2.6 ac), adjacent to Highway 666 and close to several other industrial facilities; the quarter section south of the subject land is zoned Industrial General (M-1) district. There is an older residence on the north side of the quarter section and the closest neighbouring residence is approximately 800 metres from the proposed facility; the facility is not expected to impact nearby residences. The applicants have started construction as of May 23, 2023, in accordance with their AUC approval; adjacent landowners were notified by the applicant. Previous consultation occurred in 2022.

Access to the site will be via Highway 666 which has already been approved by Alberta Transportation, two (2) approaches will be installed during construction with one (1) being removed following construction completion. The applicants plan to fence the area during construction and install security fencing to enclose the permanent facility. Any ground disturbance outside the permanent fence will be remediated and seeded by the applicant. Additional details regarding the purpose and operations of the facility are included in the newsletter from Enfinite, attached to this report.

---

PROPERTY DETAILS:

Proposed Servicing:	N/A
Soil Type:	Clay, Sandy Clay
Topography:	Flat
Wetland Inventory:	None
LSRS Spring Grains:	3(10); moderate limitation

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RELEVANT LEGISLATION AND POLICY CONSIDERATIONS:

**Municipal Government Act**

*619(1) A licence, permit, approval or other authorization granted by the NRCB, ERCB, AER, AEUB, or AUC prevails, in accordance with this section, over any statutory plan, land use bylaw, subdivision decision or development decision by a subdivision authority, development authority, subdivision and development appeal board, of the Land and Property Rights Tribunal or any other authorization under this Part.*

*619(2) When an application is received by the municipality for a statutory plan amendment, land use bylaw amendment, subdivision approval, development permit or other authorization under this Part and the application is consistent with a licence, permit, approval or other authorization granted by the NRCB, ERCB, AER, AEUB or AUC, the municipality must approve the application to the extent that it complies with the licence, permit, approval or other authorization granted under subsection (1).*

The proposed facility is subject to an approval granted by the Alberta Utilities Commission (AUC). As this agency is listed under S619, the Municipal Planning Commission (MPC) is required to approve the application for development as it complies to the issued approval. While the MPC may require additional conditions of approval such as screening to mitigate off-site impacts of the proposed development, these impacts are expected to be minimal and no greater than the existing adjacent facilities to the south.

**Municipal Development Plan**

*6.3.1 The types of industry which may be supported in Greenview include those that:*

- (c) Are not suited to an urban area;*
- (d) Do not conflict with adjacent land uses in terms of appearance, emissions, noise, or traffic generation, unless suitable buffers are provided;*
- (f) Have minimal servicing requirements.*

The proposed use may be supported by Greenview's MDP as it is ideally located away from urban areas, is not expected to impact adjacent rural residential lands, and does not require services such as water and sewer.

**Land Use Bylaw 18-800**

**3.3 Permits Not Required**

*3.3.1 The following developments and uses shall not require a development permit provided they conform to all provisions of this Bylaw:*

- c) Utility services underground or in registered rights-of-way.*

**5.4 Utility Structures**

5.4.1 *Public Utility facilities for the transmission of water, sewage, electrical power, telephone, natural gas, cable television, fiber optics, and other similar services (but not including sewage treatment plants or electrical substations) are permitted in all Districts and individual parcels, as the facilities are exempt from minimum parcel size requirements.*

Although similar uses are permitted in all districts and associated structures such as utility lines do not require permitting, the Utilities, Major use is discretionary within the Agricultural One (A-1) district. Despite the approval granted by the AUC, the MPC may include additional conditions such as screening to mitigate off-site impacts, however any disturbance to adjacent lands is not expected to be greater than existing facilities to the south. The recommended conditions of approval are standard for most industrial developments, including that permits be obtained as required by the Alberta Safety Codes Authority and that no development of the site be granted to cause harm to adjacent properties by stormwater run-off.

---

**RECOMMENDED ACTION:**

**MOTION:** That the Municipal Planning Commission APPROVE Development Permit application D23-067 in the name of Enfinite Corporation, for Utilities, Major on NW 8-69-8-W6M, a subject to the following condition:

1. The applicant must obtain approval from the Alberta Utilities Commission (AUC) prior to commencement of any development and submit a copy to the MD of Greenview No. 16.

**Standards:**

1. The applicant is responsible for weed control. Contact Greenview's Agricultural Fieldman at 780.524.7602 for further information.

**Advisory Notes:**

1. This permit indicates that only the development to which it relates is authorized pursuant to the provisions of the Land Use Bylaw. Compliance with the provisions of Land Use Bylaw 18-800 does not exempt the applicant from compliance with any provincial, federal, or other municipal legislation.
2. All development must conform to the conditions of this development permit and the approved plans, and any revisions as required pursuant to this approval. Any subsequent changes, amendments or additions to this development permit shall require a new development permit application, including but not limited to, an expansion or intensification of the use.
3. Prior to construction or commencement of any development it is the responsibility of the applicant to ensure they obtain all necessary permits required by Alberta Safety Codes Authority, including but not limited to Building, Gas, Plumbing and Electrical permits, in accordance with the Safety Codes Act of Alberta.
4. Development(s) shall not adversely affect groundwater resources or disturb natural drainage patterns or watercourses unless such measures are necessary to serve the proposed development and receive approval from Alberta Environment and Parks.
5. Deleterious materials shall not be allowed to enter any watercourse.
6. You are located in the vicinity of an agricultural operation.
7. This development permit is valid upon the decision being advertised in accordance with Greenview's Advertising Bylaw and no appeal against said decision being successful.

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ALTERNATIVES:

**Alternative #1:** The Municipal Planning Commission may refuse the application, a reason for refusal must be stated. Administration does not recommend this option as Section 619 requires the MPC approve the use as an AUC approval has already been granted.

**Alternative #2:** The Municipal Planning Commission may table the application to the next regular meeting or until additional information is received. Administration does not recommend this option as the applicant has provided all information required to issue a decision.

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PUBLIC ENGAGEMENT LEVEL:

Greenview has adopted the IAP2 Framework for public consultation.

The Land Use Bylaw 18-800 requires that applications for discretionary use development permits be advertised following issuance of the decision.

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FOLLOW UP ACTIONS:

No follow up action is required by the Municipal Planning Commission. The applicant will be notified of the decision and a notice will be posted on Greenview's website and social media for 21 days, in accordance with the advertising bylaw.

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ATTACHMENTS:

- Development Permit application
- Site Plan
- Newsletter from Enfinite
- AGRASID Map
- Wetland Inventory Map
- Topography Map
- Owner Location Map



# APPLICATION FOR DEVELOPMENT PERMIT

Municipal District of Greenview No. 16

4806 – 36 Avenue, Box 1079, Valleyview AB T0H 3N0  
T 780.524.7600 F 780.524.4307 Toll Free 1.866.524.7608

[www.mdgreenview.ab.ca](http://www.mdgreenview.ab.ca)

I / We understand that this application will only be processed if submitted in complete form and accompanied by the applicable fee. A completed application includes the forms completely filled out, signatures, plot plan, fees and any other information the development authority deems necessary to make an informed decision.

## Applicant Information

Name of Applicant(s): ENFINITE LP BY ITS GENERAL PARTNER ENFINITE CORPORATION

*(By providing email address you authorize Planning and Development Services to contact you via email)*

*(Complete if different from applicant)*

Registered Landowner(s) or Leaseholder(s) Patricia & Ken Trarback

Email: \_\_\_\_\_

*(By providing email address you authorize Planning and Development Services to contact you via email)*

## Land Information

Legal description of proposed development site: LSD/QTR. NW SEC. 08 TWP. 69 RGE. 08 M. 6

Registered plan: Block N/A Lot N/A MLL/MSL/LEASE NO.: N/A

Property size: Hectares: 1.039 Acres: 2.567 Description of the existing use of the land: Agricultural

The land is adjacent to:  Highway 666  District Road \_\_\_\_\_  LOC# \_\_\_\_\_

How is the site to be accessed?  Existing approach  Proposed approach *(please fill out and submit an approach application)*

Do you have a rural address?  Yes Address: \_\_\_\_\_  No

### FOR ADMINISTRATIVE USE

- PERMITTED USE
- DISCRETIONARY USE
- VARIANCE
- PROHIBITED USE

ROLL NO.:	APPLICATION NO.:
FEE:	DATE PAID:
RECEIPT NO.:	DEEMED COMPLETE:
LAND USE DISTRICT:	PROPOSED USE:
COMMENTS:	



## APPLICATION FOR DEVELOPMENT PERMIT

**Municipal District of Greenview No. 16**

4806 – 36 Avenue, Box 1079, Valleyview AB T0H 3N0  
 T 780.524.7600 F 780.524.4307 Toll Free 1.866.524.7608

[www.mdgreenview.ab.ca](http://www.mdgreenview.ab.ca)

### Development Information

Describe your proposed development: *(if additional space is required please attach sheet)*

**Enfinite is proposing the construction and operation of a 40 Megawatt battery energy storage facility (BESF) in the Municipal District of Greenview. Refer to the attached Newsletter for more details on the project.**

Size of the proposed development:

Length	<input checked="" type="checkbox"/> metres	Width	<input checked="" type="checkbox"/> metres	Building height	<input checked="" type="checkbox"/> metres
84	<input type="checkbox"/> feet	94	<input type="checkbox"/> feet	7.04	<input type="checkbox"/> feet

Accessory building: <i>(if applicable)</i>	Total Floor area	Height
	<input type="checkbox"/> Sq. metres	<input type="checkbox"/> Metres
	<input type="checkbox"/> Sq. feet	<input type="checkbox"/> Feet
		<input type="checkbox"/> Attached
		<input type="checkbox"/> Detached

Secondary suite information:  
*(if applicable)*

Existing suite     New suite     Attached  
 Detached

Total floor area of primary residence:

Sq. metres  
 Sq. feet

Indicate the proposed setback from the property line:

Front yard	<input checked="" type="checkbox"/> metres	Rear yard	<input checked="" type="checkbox"/> metres	Side yard (1)	<input checked="" type="checkbox"/> metres	Side Yard (2)	<input checked="" type="checkbox"/> metres
270.4	<input type="checkbox"/> feet	434.6	<input type="checkbox"/> feet	131.7	<input type="checkbox"/> feet	583.1	<input type="checkbox"/> feet

Does this development require a variance?

Yes, explain \_\_\_\_\_  No *(If yes, please submit a Variance Request Form)*

Construction Start Date: May 2023    End Date: November 2023    Completed Project Cost: \$ 7,000,000

Has the development commenced?     Yes     No

#### Manufactured Home

Manufacturer: \_\_\_\_\_ Model: \_\_\_\_\_ Year: \_\_\_\_\_

#### Sewage System

Type of sewage system: \_\_\_\_\_

### Abandoned Well Information

**ALL development permit applications require a printout of a map from Alberta Energy Regulator (AER, previously known as ERCB). This can be obtained via website, phone, email, fax or mail.**

Is there an abandoned well or pipeline on the property?     Yes     No *(printout must still be provided)*

Licensee name: \_\_\_\_\_

*If you require any assistance or do not have access to the internet please contact AER at 1.855.297.8311*

*The location of all abandoned oil and gas well sites as well as the setback distances in relation to existing or proposed building sites must be shown on all applications. Please note: The Development Authority cannot approve a development application if the lot(s) do(es) not comply with the setback directed by the ERCB Directive 079. Abandoned well site information must be provided by the applicant and can be obtained by contacting Alberta Energy Regulator.*

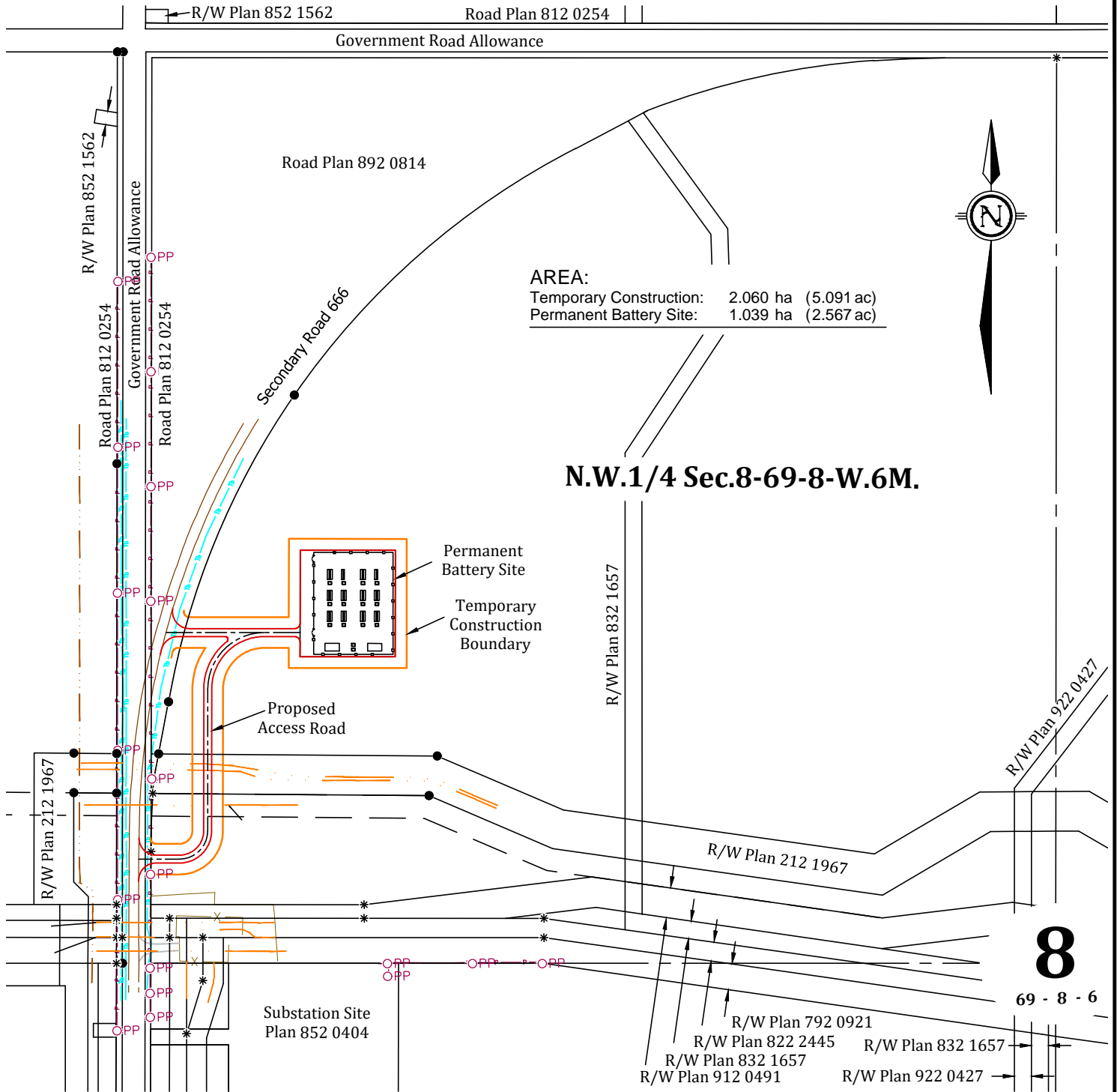


# Individual Ownership Plan

showing

## Proposed Battery Storage Site

Located in N.W. 1/4 Sec. 8, Twp. 69, Rge. 8, W6M.  
Municipal District of Greenview No. 16, Alberta



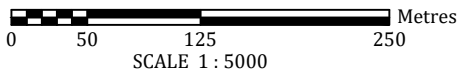
**AREA:**  
 Temporary Construction: 2.060 ha (5.091 ac)  
 Permanent Battery Site: 1.039 ha (2.567 ac)

**N.W.1/4 Sec.8-69-8-W.6M.**

**8**  
69 - 8 - 6

**LEGEND & NOTES**

- Found Statutory Iron Post: ..... ●
- Found No Mark, Established Position: ..... x
- Established Position: ..... \*
- Buried Pipeline (Field Verified): ..... - - - - -
- Buried Pipeline (Non Field Verified): ..... - - - - -
- Buried Telus Cable: ..... Tb
- Fence & Gate: ..... -X- [Gate Symbol]
- Overhead powerline & pole: ..... P-OPP
- Tree outline : ..... [Tree Symbol]



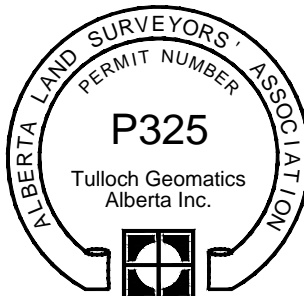
C. of T. No: 202 265 802  
**OWNER(S): Leona Eyben & Patricia Trarback**  
 I/We, the landowner(s)/occupant(s), consent to the location of the areas as shown.  
 DATED on the \_\_ day of \_\_\_\_\_, 2023.

Landowner Name \_\_\_\_\_

Landowner Signature \_\_\_\_\_

Landowner Name \_\_\_\_\_

Landowner Signature \_\_\_\_\_



Certified Correct

*Andrew Clark*

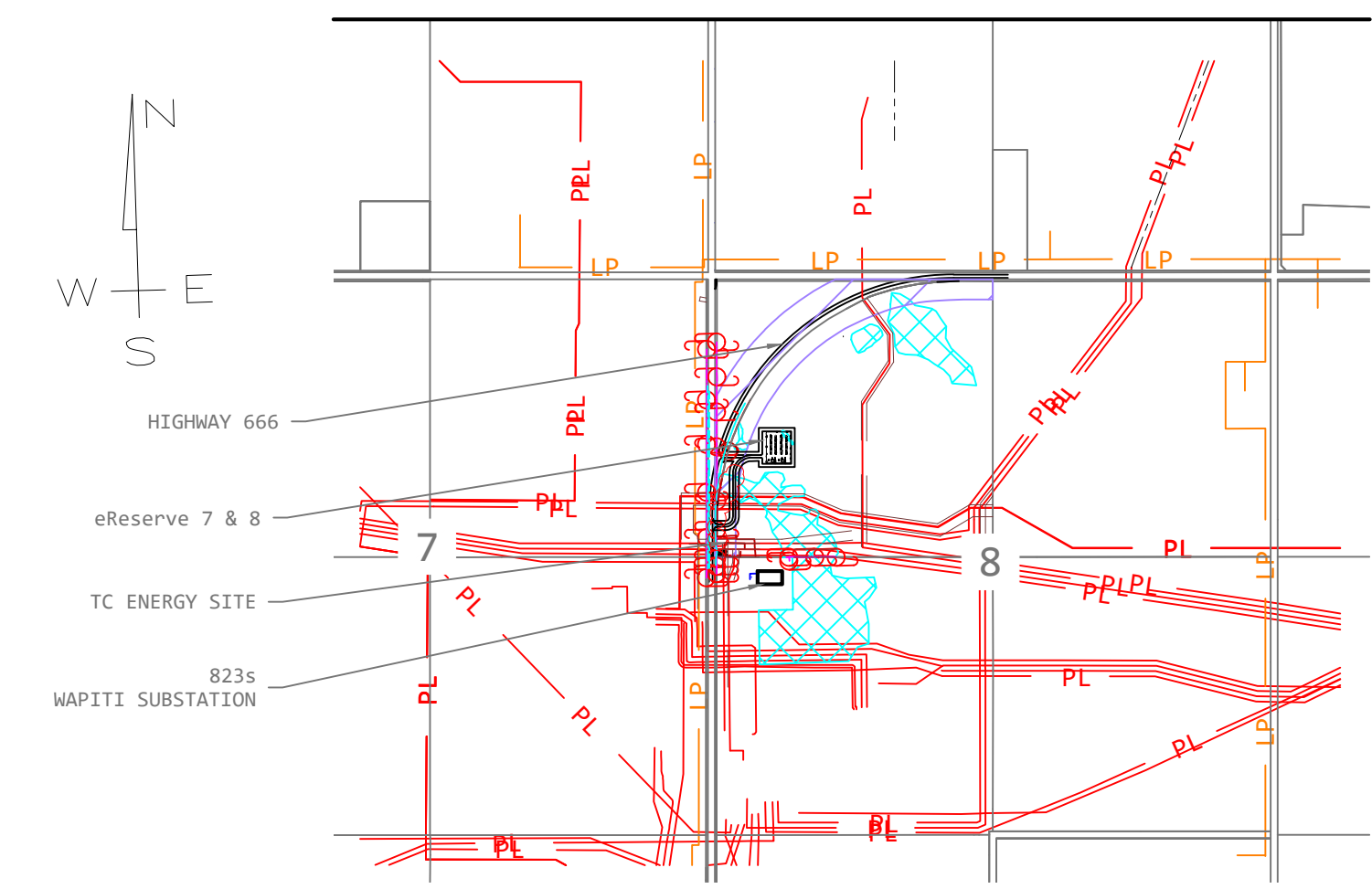
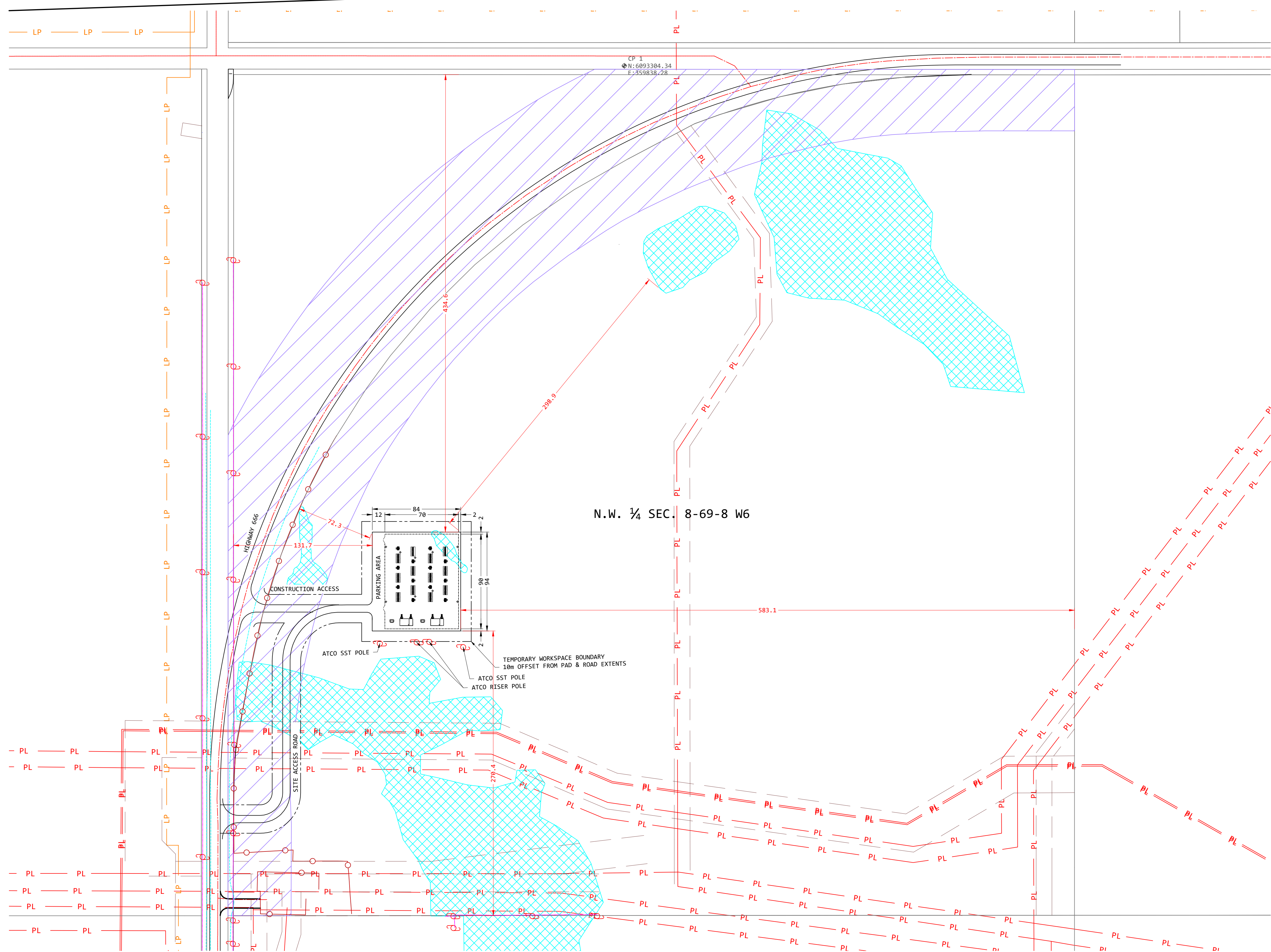
Andrew Clark, A.L.S.

2023-01-19  
Date Signed

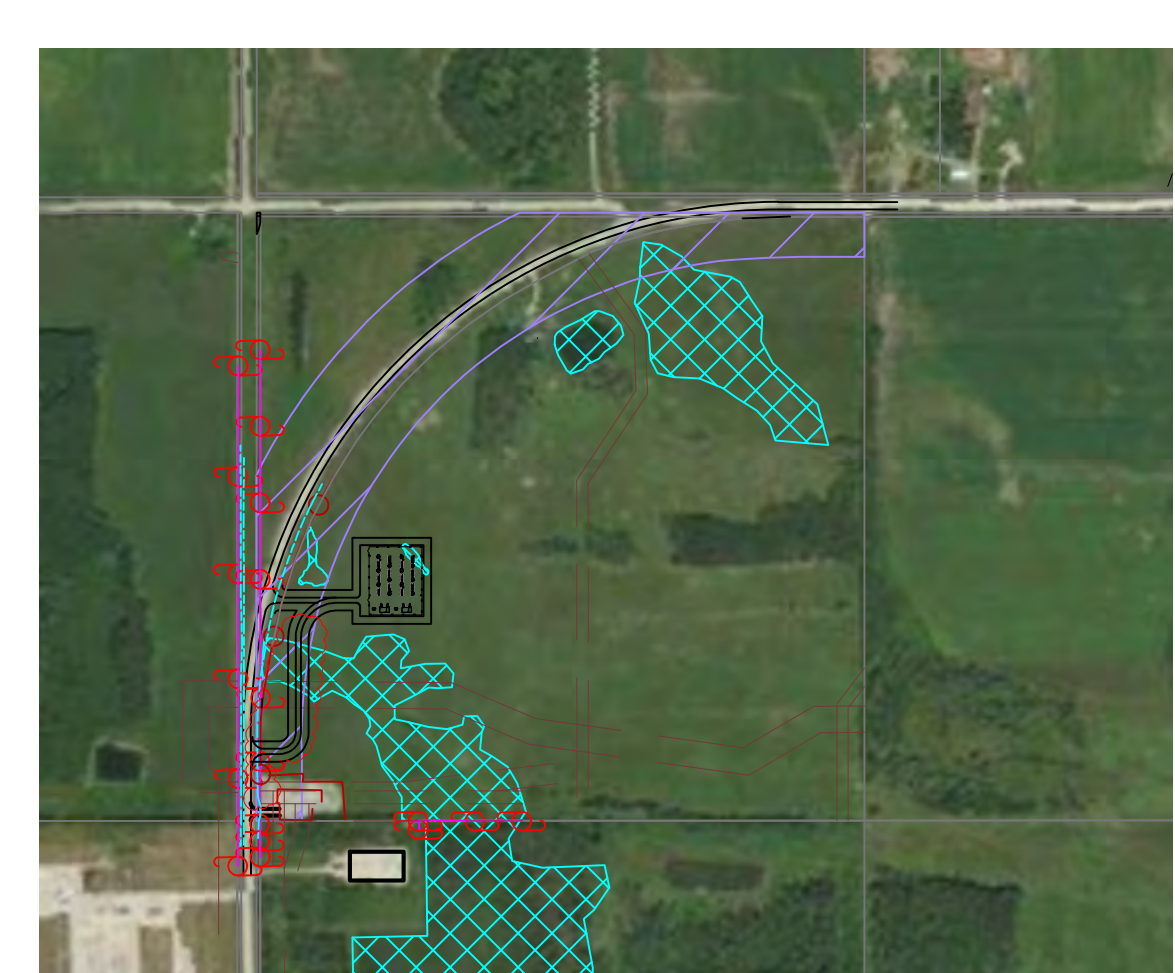


Tulloch File: 22-4000 eReserve 7.8 Wapiti Site Survey	
Surveyor: TULLOCH Geomatics	
Client: Maskwa High Voltage Ltd.	Job No.: 224000
Revision Description: REV. 01	Date of Survey: Apr 2022

IOP Num.  
1  
 REV. 01



**GENERAL SITE LOCATION**  
 N.W. 1/4 SEC. 8-69-8 W6  
 SCALE 1:20000



**SATELLITE VIEW**  
 SCALE 1:10000

- LEGEND:**
- FENCE
  - EXISTING FENCE
  - BENCHMARK
  - HIGH PRESSURE PIPELINE
  - LOW PRESSURE PIPELINE
  - 138kV TRANSMISSION LINE
  - ROAD CENTERLINE
  - BURIED TELLUS
  - RIGHT-OF-WAY
  - WETLAND
  - 70m HIGHWAY BUFFER
  - CONSTRUCTION AREA (10m OFFSET)

STAMP:

PERMIT:

REV	DATE	PROJECT DESCRIPTION	DRN	DES	CHK	APP
0	2023-04-21	DEVELOPMENT PERMIT SKETCH	SC	SC	BA	RP

DRAWN: S CAMPBELL  
 DESIGNED: S CAMPBELL  
 CHECKED: B ALWARD  
 APPROVED: R PATEL  
 DATE: 2023-04-21

		SCALE: 1:2000
	LOCATION: WAPITI	SHEET: 1 OF 1
TITLE: eRESERVE 7&8 DEVELOPMENT PERMIT SKETCH		REVISION #: 0
		DRAWING #:



# Enfinite eReserve7/8 Battery Energy Storage Facility

## What is it and why is it being proposed?

Enfinite is proposing the construction and operation of a 40-Megawatt (MW) battery energy storage facility (BESF) consisting of eReserve7 (20 MW) and eReserve8 (20 MW) located at NW-08-069-08 W6M in the Municipal District of Greenview (the "Project"). The Project will consist of a lithium-ion BESF to store electricity for discharge into the local distribution system.

The Project will be on previously disturbed, privately owned land directly north of the ATCO-owned Wapiti 823S Substation, approximately four (4) kilometers west of the community of Wapiti, Alberta. The Project facility will connect to two (2) existing ATCO 25 kV distribution lines located south from the proposed site. Enfinite is working with ATCO to coordinate the distribution connection of the Project to the existing system.

## Why battery storage?

Using battery storage supports the reliability of the local distribution network. Battery storage holds energy generated today, then releases that energy to the distribution system during peak demand when consumers need power the most.

## What do battery modules look like?

Battery modules are most commonly neutral in color and are comparable in shape to a shipping container. Visual impacts have multiple ways to be mitigated and will be discussed with community members and implemented where applicable. Photos of existing battery storage facilities provided in this newsletter are anticipated to look similar in appearance to this Project.

## How will it work?

Connected to existing alternating current (AC) distribution lines, the eReserve7/8 BESF will be used to take electricity from the distribution system when demand is low and stored as direct current (DC) within the battery modules. When the demand is high, the power will be inverted back to AC and deployed back into the local distribution system.

## What will make up the battery storage facility?

Through ongoing design work, Enfinite requires temporary and permanent space of approximately 3.5 acres to construct and operate the facility. The following Project components will be within the Project footprint of 114 m x 124 m (374 ft x 407 ft) with some of these components within a fenced perimeter:

- 22 battery modules with inverters
- 12 transformers
- 2 grounding transformers
- 2 switchgear and control buildings (with associated protection and controls equipment)
- Thermal cameras
- Motion cameras
- Underground fibre optic
- Outdoor lights
- Parking area

The batteries will be stored in contained, leak-proof, stand-alone modules and will be set apart from adjacent modules to allow for potential installation of new modules once existing modules have decreased in their capacity due to use.

Temporary workspace and a temporary access road will be used to construct the Project. For operations, a permanent gravel access road will be installed off of Provincial Highway 666.

## How long do the batteries last?

Battery modules have an anticipated lifespan of approximately 20 years. Additional operation can be expected past this lifecycle with proper maintenance and battery replacements as required. At the end of the modules lifespan, Enfinite will follow the manufacturer's recycling guidelines.

## Who approves the Project?

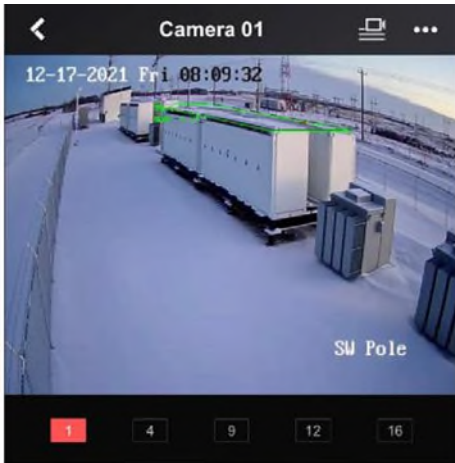
The Project has been approved by the Alberta Utilities Commission (AUC). Information regarding the AUC approval process can be found at [www.auc.ab.ca](http://www.auc.ab.ca).

## How was the site selected?

To determine the site, various constraints were reviewed and considered, including, terrain, land features, proximity to a substation, landowner willingness, and existing electrical capacity. These factors assisted in narrowing the area under consideration and determining the location for the Project.



## Are battery energy storage facilities safe?

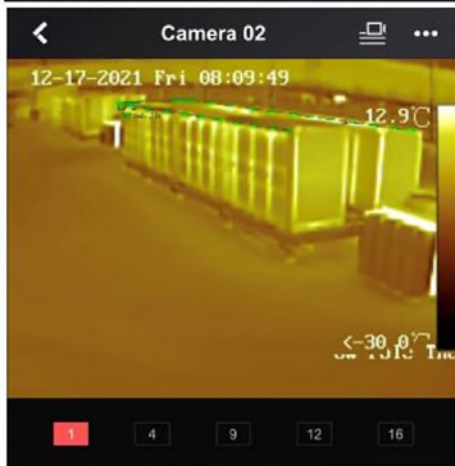


Lithium-ion batteries are used in everyday items, such as mobile phones and electric cars, and are the dominant storage technology today.

Enfinite has taken measures to manage and mitigate the risks to facility equipment, and to the surrounding area. The facility will be enclosed within a well-lit fenced area. Each battery module will be monitored by infrared cameras and temperature monitors/alarms, in real-time (see images to the left), for any fire, health, and safety risks. If an alarm is triggered at a battery site, facility operators are notified immediately, and local emergency response providers are notified to implement the emergency response plan (ERP). The ongoing use of these thermal and motion cameras on-site will allow Enfinite to remotely monitor the Project and pre-emptively identify any safety issues that may arise.

As part of Enfinite's ERP, the Project will follow safety and applicable regulations and will be compliant with applicable safety codes and standards.

Enfinite will be engaging with local fire and response resources to prepare a site specific ERP that satisfies the regulatory requirements and implements safety measures to minimize potential safety risks associated with the facility. A working copy of the site-specific ERP will accompany the AUC application and be made available to the public at the time of filing.



## Are these facilities loud?

Enfinite has modelled noise levels to develop a Project that is compliant with *AUC Rule 012: Noise Control*.



## Will the facility need continual lighting?

Lighting is required from a site safety perspective (Alberta Electrical Utility Code – 8-222). Enfinite will work with local residents to understand any potential concerns and can discuss potential mitigation options such as light-shielding or lower light profiles.



## What environmental aspects are considered?

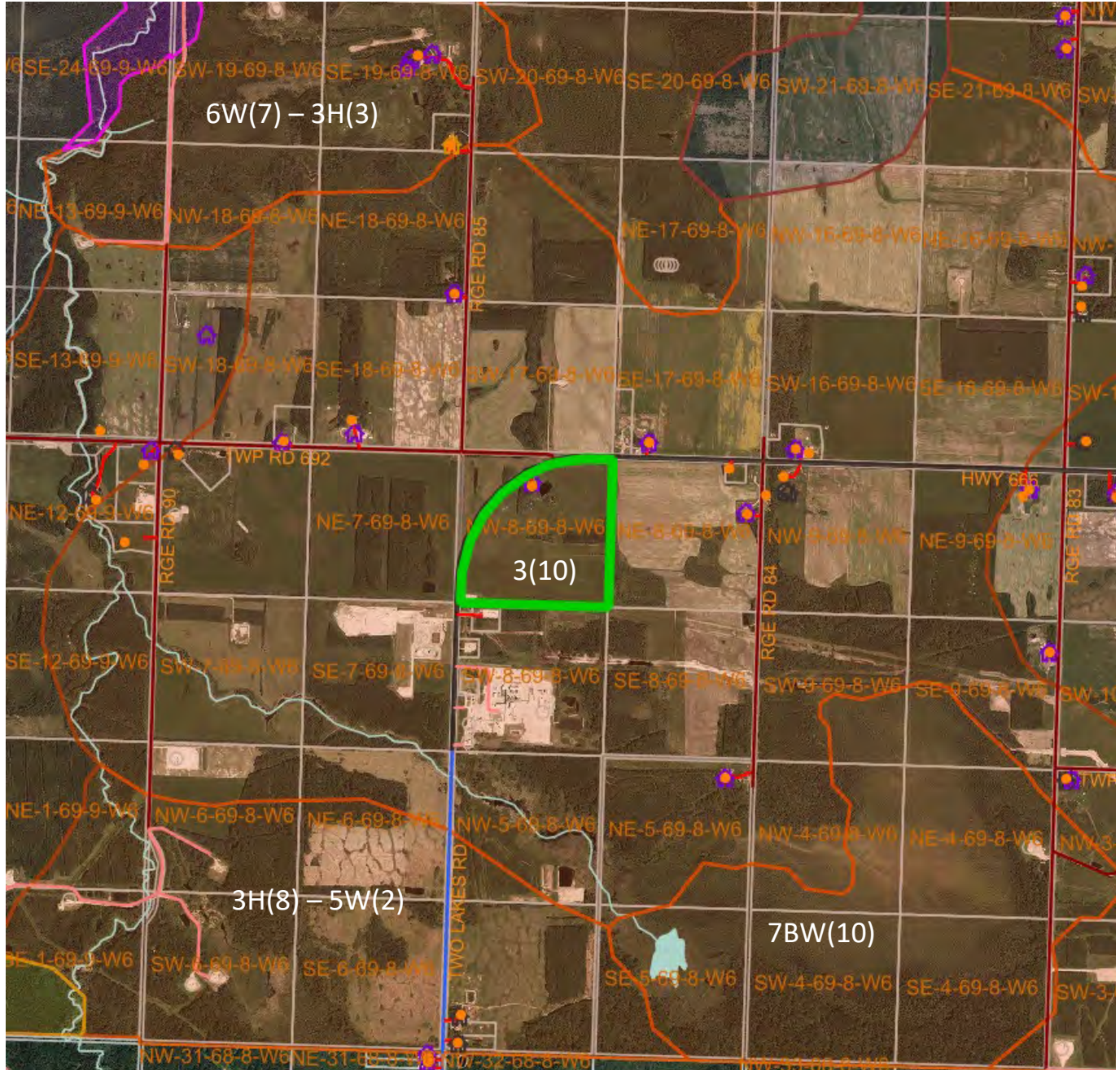
Enfinite submitted an environmental evaluation and environmental protection plan as part of the Battery Facility Application that considered potential impacts and potential mitigation measures to environmental features. The environmental evaluation consisted of a desktop review and site visit and was summarized for the AUC who is the regulatory decision maker for the Project.



**AGRICULTURAL REGIONS OF ALBERTA SOIL INVENTORY DATABASE (AGRASID)  
LAND SUITABILITY RATING SYSTEM (LSRS)**

**FILE NO. D23-067  
APPLICANT: ENFINITE CORPORATION**

**LEGAL LOCATION: NW 8-69-8-W6M  
LANDOWNER: PATRICIA & KENNETH TRARBACK**



**Spring Grain Growth Limitations**

**3(10): Moderate limitation**

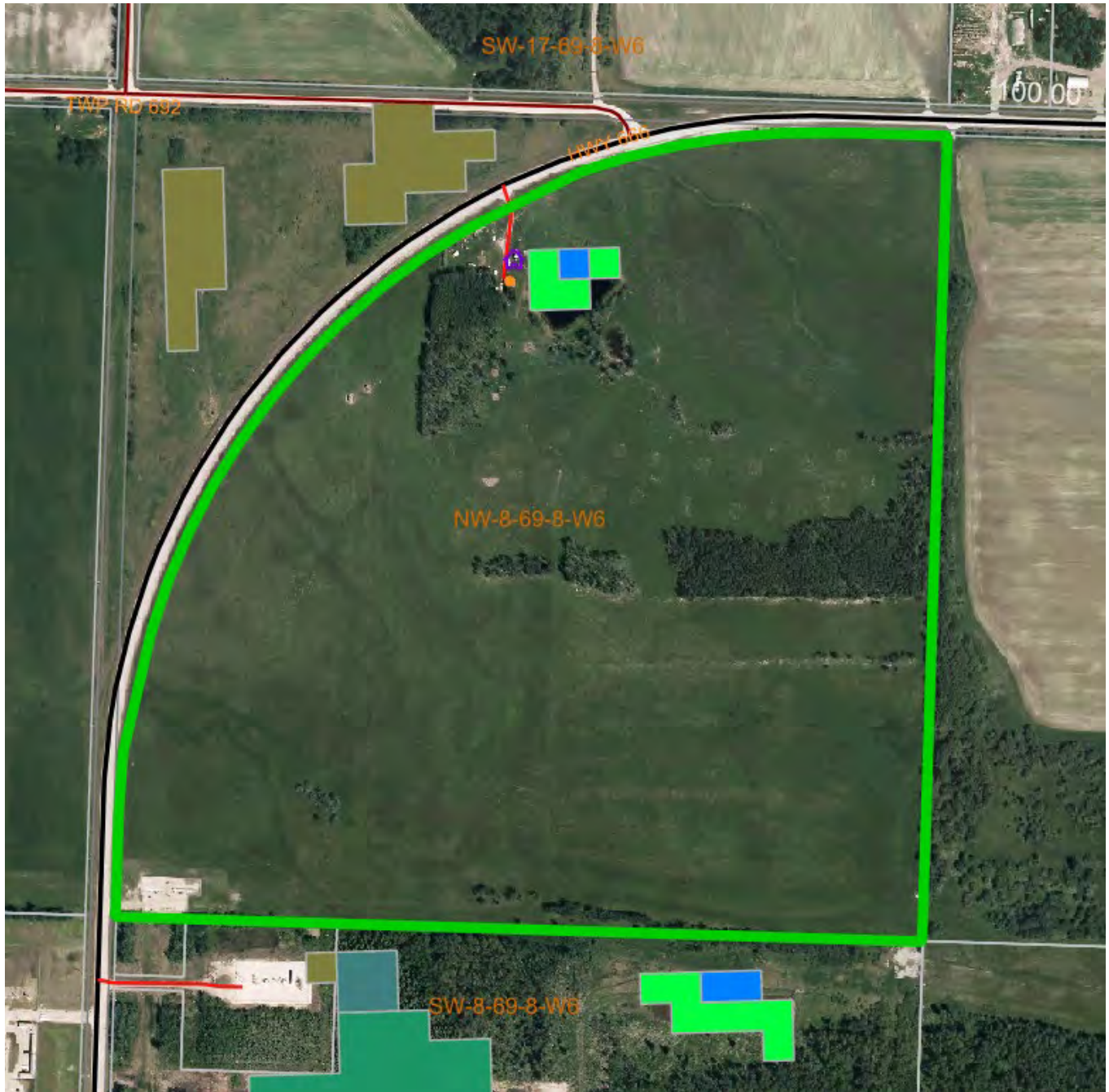
**6W(7) - 3H(3): Extremely severe limitation due to drainage, moderate limitation due to temperature**

**7BW(10): Unsuitable due to drainage and degree of decomposition or fibre content**

**WETLAND INVENTORY**

**FILE NO. D23-067**  
**APPLICANT: ENFINITE CORPORATION**

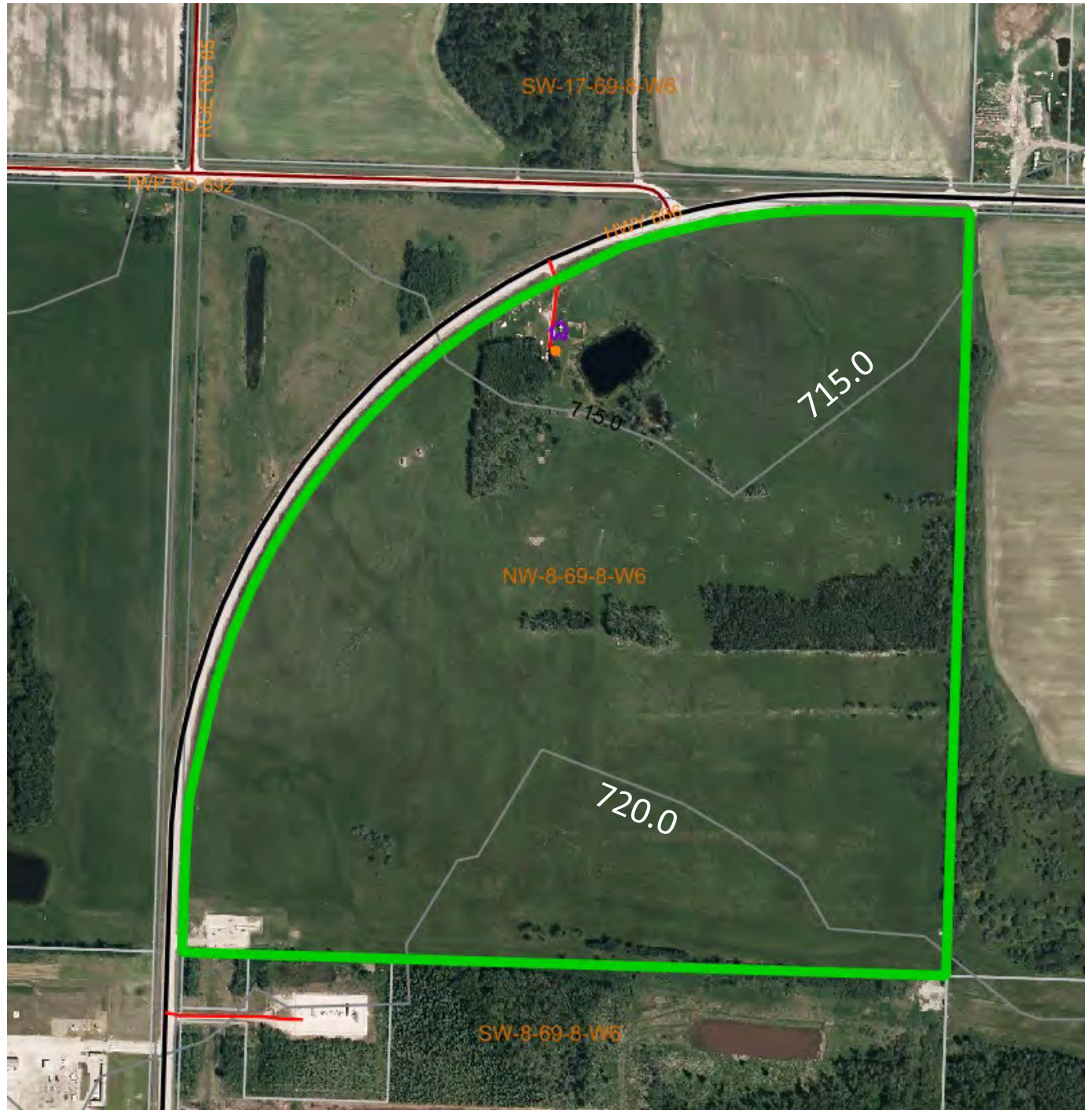
**LEGAL LOCATION: NE 8-69-8-W6M**  
**LANDOWNER: PATRICIA & KENNETH TRARBACK**



**SITE TOPOGRAPHY**

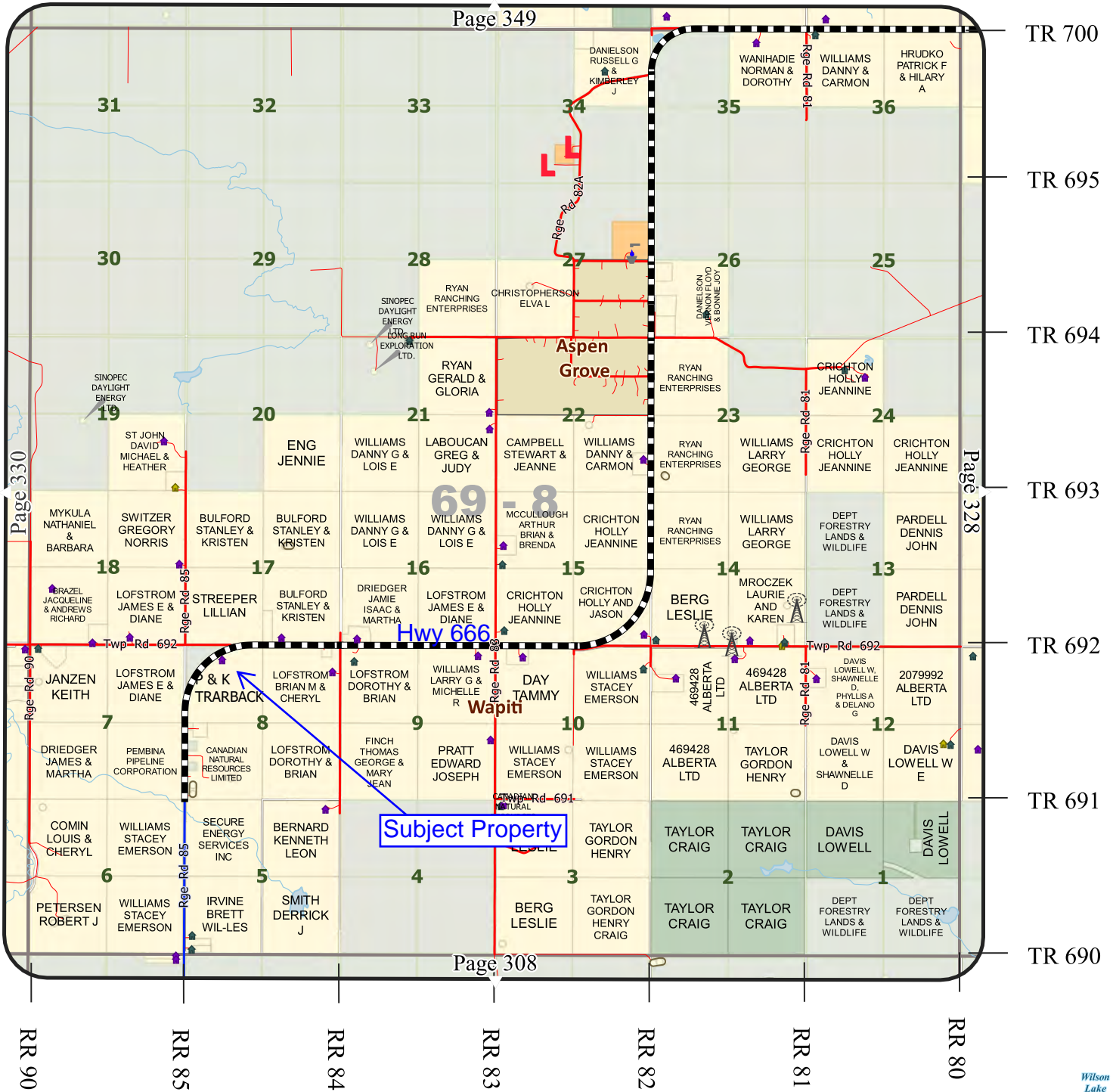
**FILE NO. D23-067**  
**APPLICANT: ENFINITE CORPORATION**

**LEGAL LOCATION: NE 8-69-8-W6M**  
**LANDOWNER: PATRICIA & KENNETH TRARBACK**





# M.D. of Greenview No.16



Map printed: 2021-12-30

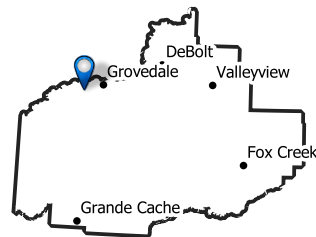
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Compiled from the Rural Cadastral Digital Base September 15, 2020, 1:20,000 Digital Base. Land Ownership compiled from municipal tax data, September 15, 2020. Building/Site/Feature information compiled from municipal assessment data, December 2019.

NOT RESPONSIBLE FOR ERRORS OR OMISSIONS







## REQUEST FOR DECISION

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**SUBJECT:** D23-070 Alexander Moore –Variance to the Height of the Detached Garage  
**SUBMISSION TO:** MUNICIPAL PLANNING COMMISSION      REVIEWED AND APPROVED FOR SUBMISSION  
**MEETING DATE:** June 15, 2023      **DIRECTOR:** MAV      **PRESENTER:** JS  
**REPORT TYPE:** Development Permit      **MANAGER:** SD      **WRITER:** JS

---

**FILE NO.:** D23-070      **LAND USE DISTRICT:** Hamlet Residential (HR)  
**LEGAL LOCATION:** SW 12-72-1-W6M (Plan 072 5943, Block 1, Lot 9)  
**AREA:** Debolt and Puskwaskau, Ward 6  
**APPLICANT/SURVEYOR:** Alexander Moore  
**LANDOWNER:** Alexander Moore and Tanya Latimer

---

### BACKGROUND/PROPOSAL:

Administration has received an application for the development of a detached garage within the property of Plan 072 5943, Block 1, Lot 9, located within the hamlet of DeBolt. The proposal of a detached garage is a Permitted Use under the Hamlet Residential District (HR).

The proposed detached garage meets all the requirements for the HR District, in addition to the regulations outlined in Section 5.22.1, except for the maximum height permitted for the HR district. The distance from the proposed detached garage and the top of the bank is unknown. The height of the proposed detached garage is 6.5 metres (21 feet 2 inches), while the height restriction for accessory building under the Hamlet Residential District is 5.0 metres (16.4 feet). In such a case, the application of the variance request is to permit the maximum height of the building from 5.0 metres to 6.5 metres required for the LUB District.

The LUB affords certain variance powers to the Development Authority under Section 3.8. If the proposed development is a Permitted Use, the Development Officer can choose to exercise its power to vary any regulation, up to 10 percent of the regulation. If the Development Officer was to apply their variance power of 10% to vary, the Development Officer can only permit up to 5.5 meters (18.0 feet) in building height. Even if the Development Officer's variance powers were to be applied, the proposed development will not meet the maximum height restriction for accessory buildings of the HR district.

In addition to the Development Officer's discretion to apply the variance, the MPC also has the power to vary standards. As such, the purpose of this application for a variance request is for MPC to vary the height restriction, in accordance with Section 3.8.3, for the proposed detached garage. The MPC may approve a variance of the regulations and standards stated in the Bylaw provided the intent of the Bylaw is met.

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## PROPERTY DETAILS:

The subject parcel has existing residential developments, including a one-storey single detached dwelling unit, with an attached garage. The subject parcel abuts the DeBolt Creek.

**Proposed Servicing:** Municipal Servicing

**Soil Type:** Gleyed Dark Gray Luvisol

**Topography:** Undulating – Low relief

**Wetland Inventory:** No wetlands found within the subject parcel

**LSRS Spring Grains:** 2 (8) – 6W (2) ; Slight limitation to extremely severe limitation due to soils in which excess water (not due to inundation) limits the production.

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## RELEVANT LEGISLATION AND POLICY CONSIDERATIONS:

### **Municipal Government Act, R.S.A. 2000, Chapter M-26**

*Section 642(1) When a person applies for a development permit in respect of a development provided for by a land use bylaw pursuant to section 640(2)(b)(i), the development authority must, if the application otherwise conforms to the land use bylaw and is complete in accordance with section 683.1, issue a development permit with or without conditions as provided for in the land use bylaw.*

*Section 685 (3) Despite subsections (1) and (2), no appeal lies in respect of the issuance of the development permit for a permitted use unless the provisions of the land use bylaw were relaxed, varied, or misinterpreted or the application for the development permit was deemed to be refused under section 683.1 (8).*

For Development Permit Applications that are a Permitted Use under a respective LUB District, they must be approved if the proposed development conforms to standards and/or regulations of the LUB, as per Section 642 (1) of the MGA. This presumes that a Development Permit application for permitted uses within a district cannot be appealed. However, as Section 685 (3) states above, development permits for permitted uses can be appealed if the standards within the LUB are relaxed or varied. In this case, the development permit, though it is for a permitted use, can be appealed.

### **Municipal Development Plan Bylaw No. 15-742**

#### *5.2 Objectives*

*(b) To allow for the continued, orderly growth of hamlets in Greenview.*

#### *Section 5.3.4 Preferred Development*

*Within hamlets the following types of development shall be encouraged by Greenview:*

*(a) Residential uses, including single and multi-family dwellings and manufactured homes;*

Section 5.3.4 supports residential uses within Greenview's hamlets, with the intent that uses/developments would be established under an orderly manner. Residential development is supported within the MDP.

## **Land Use Bylaw No. 18-800**

### *3.8 Variances*

*3.8.1 The Development Authority may issue a development permit granting a variance of a requirement of this Bylaw provided the proposed development would not, in the opinion of the Development Authority*

- a) Unduly interfere with the amenities of the neighbourhood; and,*
- b) Materially interfere with or affect the use, enjoyment, or value of neighbouring properties.*

*3.8.3 The Municipal Planning Commission may approve a variance of the regulations and standards stated in the Bylaw provided the intent of the Bylaw are met.*

Related to variance powers, Section 3.8.3 enables the MPC to allow a variance of a standard or regulation within the Bylaw. Unlike a Development Officer's variance power, the variance power of the MPC does not have an assigned percentage the MPC is allowed to vary for a standard or regulation for a development. The only limitation is that it must meet the intent of the Bylaw.

Since the LUB does not provide a proportion the MPC can use to vary a standard, the onus will then be to prove that the proposed development meets the condition set forth in Section 3.8.1. It will be up to the MPC to determine whether the proposed detached garage has "unduly interfere with the amenities of the neighborhood" AND "materially interfere with or affect the use, enjoyment, or value of neighboring properties.

The first condition of unduly interfering with the amenities of the neighborhood presumes that the proposed development will not negatively impact on the "pleasantness" of the neighborhood. The second condition of materially interfering with or affect the use, enjoyment, or value of neighboring properties pertains to the proposed development's effect to disrupt the use, enjoyment, or value of the surrounding properties.

MPC has the option to approve or refuse the variance of the height of the proposed detached garage. If the MPC chooses to exercise their variance powers, the proposed detached garage can be allowed to be at the height of 6.5 meters (or 21 feet 2 inches). If MPC chooses to disallow the variance powers, then the proposed detached garage will be restricted to 5 meters (16.4 feet), as per the LUB district standard.

### *5.22 Accessory Buildings, Structures, and Uses*

*5.22.1 Accessory Buildings and structures are permitted in all Districts provided they comply with the following regulations:*

*d) When located in a multi-parcel subdivision on a parcel of less than 0.4 ha (1.0 ac) an accessory building or structure shall not be higher than the permitted height of the principal building;*

*j) In any Hamlet District, the accessory building or structure must not exceed the size of the principal building;*

Though the proposed development is within a multi-parcel subdivision, section 5.22.1 (d) does not apply to the proposed detached garage since subject parcel is more than 1.0 acres. This means that the accessory

building/structure may not necessarily be restricted to have a height higher than the principal building. In addition, Section 5.22.1 (j) does not apply here as well. Since the principal building (dwelling with attached garage) has a square footage of 2108 square feet (195 square meters) and the proposed detached garage will have 2000 square feet (185 square meters), the size of the principal building is still larger than the detached garage.

Considering different information gathered, it is our recommendation to refuse the variance request and that the detached garage be reduced to the height permitted within the HR District. The reason being is that this may change the complexion of the neighborhood, with the detached garage looking unusually large in comparison to the principal dwelling within the parcel. However, it is ultimately dependent on MPC to decide if they would want to allow this proposal or not.

### 5.29 Slope Stability

5.29.1 The distances set out in Table 5-1 from a steep slope are the required setback from the Municipal Top of Bank as illustrated in Figure 5.2.

<i>Depth of Slope</i>	<i>Setback Requirement</i>
<i>Less than 7.5 m (24.6 ft)</i>	<i>15.0 m (49.8 ft)</i>
<i>Between 7.5 m (24.6 ft) and 15.0 m (49.2 ft)</i>	<i>23.0 m (75.5 ft)</i>
<i>Between 15.0 m (49.2 ft) and 30.0 m (98.4 ft)</i>	<i>46.0 m (150.9 ft)</i>
<i>More than 30.0 m (98.4ft)</i>	<i>61.0 m (200.1 ft)</i>

As there is no information submitted which determines the municipal Top of the Bank in relation to the proposed development, it would be beneficial to request for information or a study to determine the top of the bank. Doing so will allow the Development Authority to ascertain the appropriate development setback from the top of the bank based on section 5.29.1.

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#### RECOMMENDED ACTION:

**MOTION: That the Municipal Planning Commission APPROVE the Development Permit application D23-070 subject to the following conditions:**

- 1. This development permit shall only allow the building height of the detached garage to be a maximum of 6.5 meters (21 feet, 2 inches). No other applicable standard for the detached garage shall be varied to conform with the provisions of M.D. Greenview Land Use Bylaw No. 18-800.**
- 2. The applicant must engage a surveyor to determine the top-of-the-bank and the required setback prior to start of construction. The required setback will be based on the survey of the top-of-the-bank, and in accordance with section 5.29 of the M.D. Greenview Land Use Bylaw No. 18-800.**
- 3. The use of the accessory building for commercial and industrial purposes is not permitted. The accessory building shall only be ancillary to the principal dwelling unless further approvals are applied for and granted.**
- 4. The exterior siding and roofing materials of the detached garage must be finished to match and complement the appearance of the principal dwelling on the property and inspection by the Planning Department or submission of photos is required upon completion of the exterior finish.**

5. Prior to construction of the detached garage, a lot grading plan shall be submitted to ensure that storm water runoff to adjacent lands or watercourses does not exceed pre-development flows.
6. No development shall be constructed, placed, or stored over an easement or utility right of way. The applicant is responsible for contacting Alberta-One-Call and/or other governing authorities.

**STANDARDS:**

1. Prior to construction or commencement of any development it is the responsibility of the applicant to ensure they obtain all necessary permits required by Alberta Safety Codes Authority, including but not limited to Building, Gas, Plumbing and Electrical permits, in accordance with the Safety Codes Act of Alberta.
2. The entire site and all buildings shall be maintained in a neat and tidy manner to the satisfaction of the Development Authority. This shall include the trimming and upkeep of landscaped areas and the removal of debris and unsightly objects.

**NOTES:**

1. This permit indicates that only the development to which it relates is authorized pursuant to the provisions of M.D. Greenview Land Use Bylaw No. 18-800. Compliance with the provisions of Bylaw No. 18-800 does not exempt the applicant from compliance with any provincial, federal, or other municipal legislation.
2. All development must conform to the conditions of this development permit and the approved plans, and any revisions as required pursuant to this approval. Any subsequent changes, amendments or additions to this development permit shall require a new development permit application, including but not limited to, an expansion or intensification of the use.
3. This permit is valid for a period of twelve months from the date of issue. If at the expiry of this period, the development has not been commenced with reasonable diligence, this permit shall be null and void, unless a request for a time extension to the applicable date is received prior to its expiry.
4. The development or construction of the said land(s) shall not begin until 21 days after the date of issue of Notice of Decision. The applicant should be aware that if this decision is overturned on appeal, any development taking place prior to the expiry of the appeal period will be solely at the applicant's risk.
5. This permit shall be invalid should an appeal be made against the decision. Should the Subdivision and Development Appeal Board approve the issuance of this permit, this permit shall be valid from the date of decision in accordance with the condition of the Subdivision and Development Appeal Board.
6. The Development Authority may, in accordance with Section 645 of the *Municipal Government Act*, take such action as is necessary to ensure that the provisions of this bylaw are complied with.
7. You are located in the vicinity of an agricultural operation.
8. The applicant is responsible for weed control. Contact Greenview's Agricultural Fieldman at 780.524.7602 for further information.

---

**ALTERNATIVES:**

**Alternative #1:** The Municipal Planning Commission may refuse the application for a variance request, a reason for refusal must be stated. Refusing the variance request will make the landowner/applicant to adhere to building height regulations for the HR District. Therefore, the building height for the detached garage will need to be 5 meters (16.4 feet).

**Alternative #2:** The Municipal Planning Commission may table the application for a variance request to the next regular MPC meeting or until additional information is received.

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**FINANCIAL IMPLICATION:**

All costs associated with the application will be borne by the applicant.

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**STAFFING IMPLICATION:**

There are no staffing implications to the recommended motion.

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**PUBLIC ENGAGEMENT LEVEL:**

Greenview has adopted the IAP2 Framework for public consultation.

The *Municipal Government Act* requires that Development Permit applications for discretionary uses, or for permitted uses that have been varied, be circulated for a minimum of 21 days following issuance of the decision.

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**FOLLOW UP ACTIONS:**

No follow up action is required by the Municipal Planning Commission. Following the decision, the applicant and adjacent landowners will be notified of the decision. This decision will be advertised on Greenview's website and social media for two weeks.

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**ATTACHMENTS:**

- Development Permit Application
- Site Plan (2)
- Application for a Variance Request
- Building Plan – Detached Garage
- Current site picture
- AGRISID Rating
- Wetlands Inventory
- Topography
- Location Map





# APPLICATION FOR DEVELOPMENT PERMIT

Municipal District of Greenview No. 16  
4806 – 36 Avenue, Box 1079, Valleyview AB T0H 3N0  
T 780.524.7600 F 780.524.4307 Toll Free 1.866.524.7608  
[www.mdgreenview.ab.ca](http://www.mdgreenview.ab.ca)

MUNICIPAL DISTRICT  
OF GREENVIEW No. 16  
**RECEIVED**

MAY 02 2023

I / We understand that this application will only be processed if submitted in complete form and accompanied by the applicable fee. A completed application includes the forms completely filled out, signatures, plot plan fees, and any other information the development authority deems necessary to make an informed decision.

## Applicant Information

Name of Applicant(s): Alexander Moore

Mailing \_\_\_\_\_  
Primary \_\_\_\_\_  
Email: \_\_\_\_\_

City: \_\_\_\_\_  
Other Phone: \_\_\_\_\_  
*(By providing email address you authorize Planning and Development Services to contact you via email)*

*(Complete if different from applicant)*

Registered Landowner(s) or Leaseholder(s) \_\_\_\_\_

Mailing Address: \_\_\_\_\_  
Primary Phone: \_\_\_\_\_  
Email: \_\_\_\_\_

City: \_\_\_\_\_ Postal Code: \_\_\_\_\_  
Other Phone: \_\_\_\_\_  
*(By providing email address you authorize Planning and Development Services to contact you via email)*

## Land Information

Legal description of proposed development site: LSD/QTR. SW SEC. 12 TWP. 72 RGE. 1 M. W6

Registered plan: Block Lot MLL/MSL/LEASE NO.:  
0725943 1 9 \_\_\_\_\_

Property size: Hectares: \_\_\_\_\_ Acres: 1.3  
Description of the existing use of the land: Residential Home

The land is adjacent to:  Highway \_\_\_\_\_  District Road \_\_\_\_\_  LOC# \_\_\_\_\_

How is the site to be accessed?  Existing approach  Proposed approach *(please fill out and submit an approach application)*  
13 1049 Alberta Ave

Do you have a rural address?  Yes Address: Lot 13 Creeks Crossing  No

### FOR ADMINISTRATIVE USE

PERMITTED USE  VARIANCE  
 DISCRETIONARY USE  PROHIBITED USE

ROLL NO.: 309932

APPLICATION NO.: D23-070

FEES: \$100.00

DATE PAID: May 2, 2023

RECEIPT NO.: 374574

DEEMED COMPLETE:

LAND USE DISTRICT: Hamlet Residential (HR)

PROPOSED USE: Accessory Building - Detached Garage

COMMENTS:



## APPLICATION FOR DEVELOPMENT PERMIT

**Municipal District of Greenview No. 16**  
 4806 – 36 Avenue, Box 1079, Valleyview AB T0H 3N0  
 T 780.524.7600 F 780.524.4307 Toll Free 1.866.524.7608  
[www.mdgreenview.ab.ca](http://www.mdgreenview.ab.ca)

### Development Information

Describe your proposed development: *(if additional space is required please attach sheet)*

**4 car garage in back yard.**

Size of the proposed development:

Length **12.2M**  metres  
**40**  feet

Width **15.2M**  metres  
**50**  feet

Building height **8.4M**  metres  
**27' 2"**  feet

Accessory building:  
*(if applicable)*

Total Floor area

**2000**

Sq. metres  
 Sq. feet

Height

**27' 2"**

Metres  
 Feet

Attached  
 Detached

Secondary suite information:  
*(if applicable)*

Existing suite  New suite

Attached  
 Detached

Total floor area of  
 primary residence:

Sq. metres  
 Sq. feet

Indicate the proposed setback from the property line:

Front yard **79.3m**  metres  
**260**  feet

Rear yard **8m**  metres  
**100 26'**  feet

Side yard (1) **30.3m**  metres  
**80 99.5'**  feet

Side Yard (2) **5.5m**  metres  
**18**  feet

Does this development require a variance?

Yes, explain \_\_\_\_\_  No *(If yes, please submit a Variance Request Form)*

Construction Start Date: May 21 End Date: August 15 Completed Project Cost: \$ 160000

Has the development commenced?  Yes  No

**Manufactured Home**

Manufacturer: \_\_\_\_\_ Model: \_\_\_\_\_ Year: \_\_\_\_\_

**Sewage System**

Type of sewage system: Municipal

### Abandoned Well Information

**ALL development permit applications require a printout of a map from Alberta Energy Regulator (AER, previously known as ERCB). This can be obtained via website, phone, email, fax or mail.**

Is there an abandoned well or pipeline  Yes  No *(printout must still be provided)*  
 on the property? Licensee name: \_\_\_\_\_

*If you require any assistance or do not have access to the internet please contact AER at 1.855.297.8311*

*The location of all abandoned oil and gas well sites as well as the setback distances in relation to existing or proposed building sites must be shown on all applications. Please note: The Development Authority cannot approve a development application if the lot(s) do(es) not comply with the setback directed by the ERCB Directive 079. Abandoned well site information must be provided by the applicant and can be obtained by contacting Alberta Energy Regulator.*

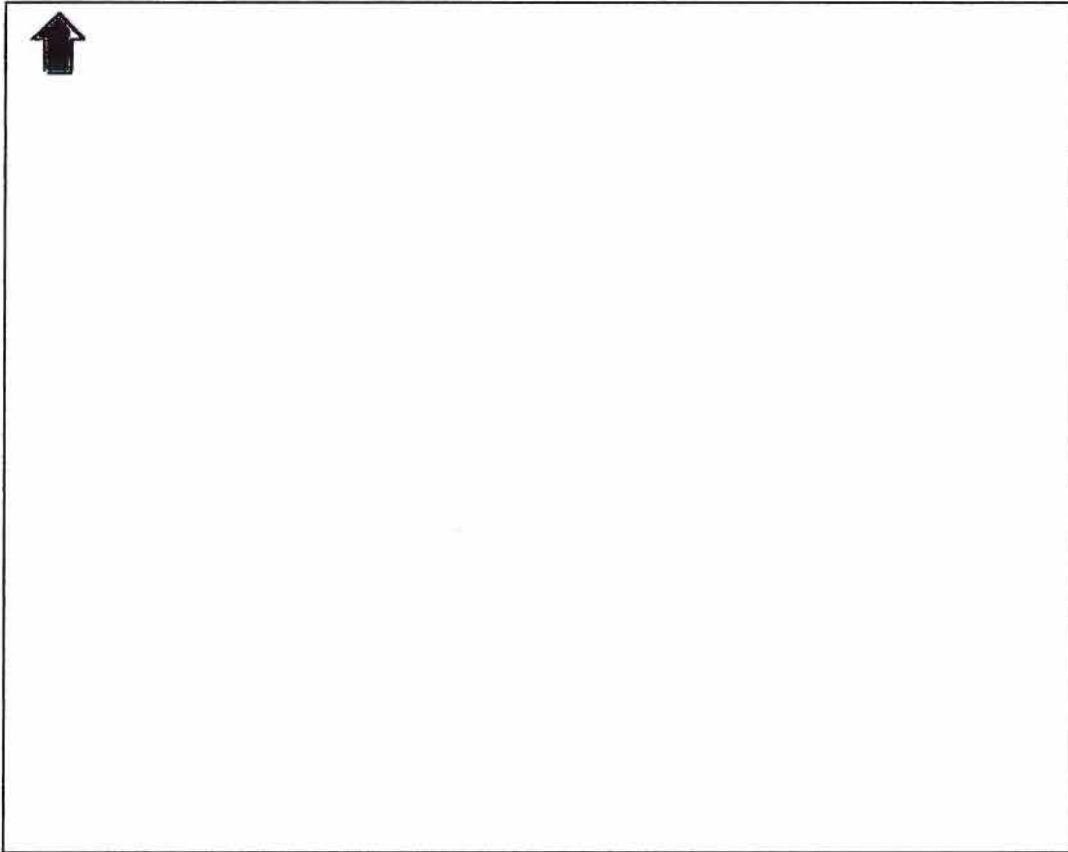
# APPLICATION FOR DEVELOPMENT PERMIT

## Plot Plan

Please ensure the following are present on the plot plan for the proposed development: (see example on page 4)

<ul style="list-style-type: none"> <li>○ Dimensions</li> <li>○ Existing and proposed private roads or driveways</li> <li>○ Natural features (trees, water runs, creeks, etc.)</li> <li>○ Utility poles</li> <li>○ Off-street parking and loading areas</li> </ul>	<ul style="list-style-type: none"> <li>○ Setback distances to existing buildings or structures (identify structures)</li> <li>○ Access to development</li> <li>○ Slopes greater than 15% and distance to proposed development</li> <li>○ Abandoned well sites</li> <li>○ Septic tank/pump-out</li> </ul>	<ul style="list-style-type: none"> <li>○ Front, rear and side yard setbacks</li> <li>○ Setback distances to public roads</li> <li>○ Well or other water sources</li> <li>○ Rights-of-ways or easements</li> <li>○ Other relevant information (signage, outdoor storage, etc.)</li> <li>○ Floor plan</li> </ul>
---	--	--

Legal Location: SW  $\frac{1}{4}$  of Sec 12 Twp. 72 Rge. 1 W 6  
 or Registered Plan 0725943, Block 1, Lot 9



## Declaration

**I/we hereby declare that the information submitted is, to the best of my/our knowledge, factual and correct. I/we understand that by signing this declaration, I/we also give consent for an authorized person of MUNICIPAL DISTRICT OF GREENVIEW NO. 16 to enter upon the land that is subject to a development permit application for the purposes of conducting a site inspection in order to evaluate the proposed development.**

**NOTE:** If the applicant is not the registered landowner, the signature of the landowner(s) is required. All landowners MUST sign the application.

Signatures: 5/2/23 \_\_\_\_\_ Date                      Applicant                      Date                      Registered Landowner(s)/Leaseholders

The personal information collected on this form is being collected under the authority of Sections 33 and 39(1)(a)(b) of the Alberta Freedom of Information and Protection of Privacy Act, and Section 301.1 of the Municipal Government Act. The information will be used to process your application(s). Your name, contact telephone number and address may be used to carry out current and/or future construction, operating programs, services or activities of the Municipality. If you have any questions about the collection, use or disclosure of the personal information provided, please contact the Freedom of Information and Protection of Privacy Coordinator at 780.524.7600.



28 meters  
to top of  
creek bed

9 meters  
to next lot

Covered Storage

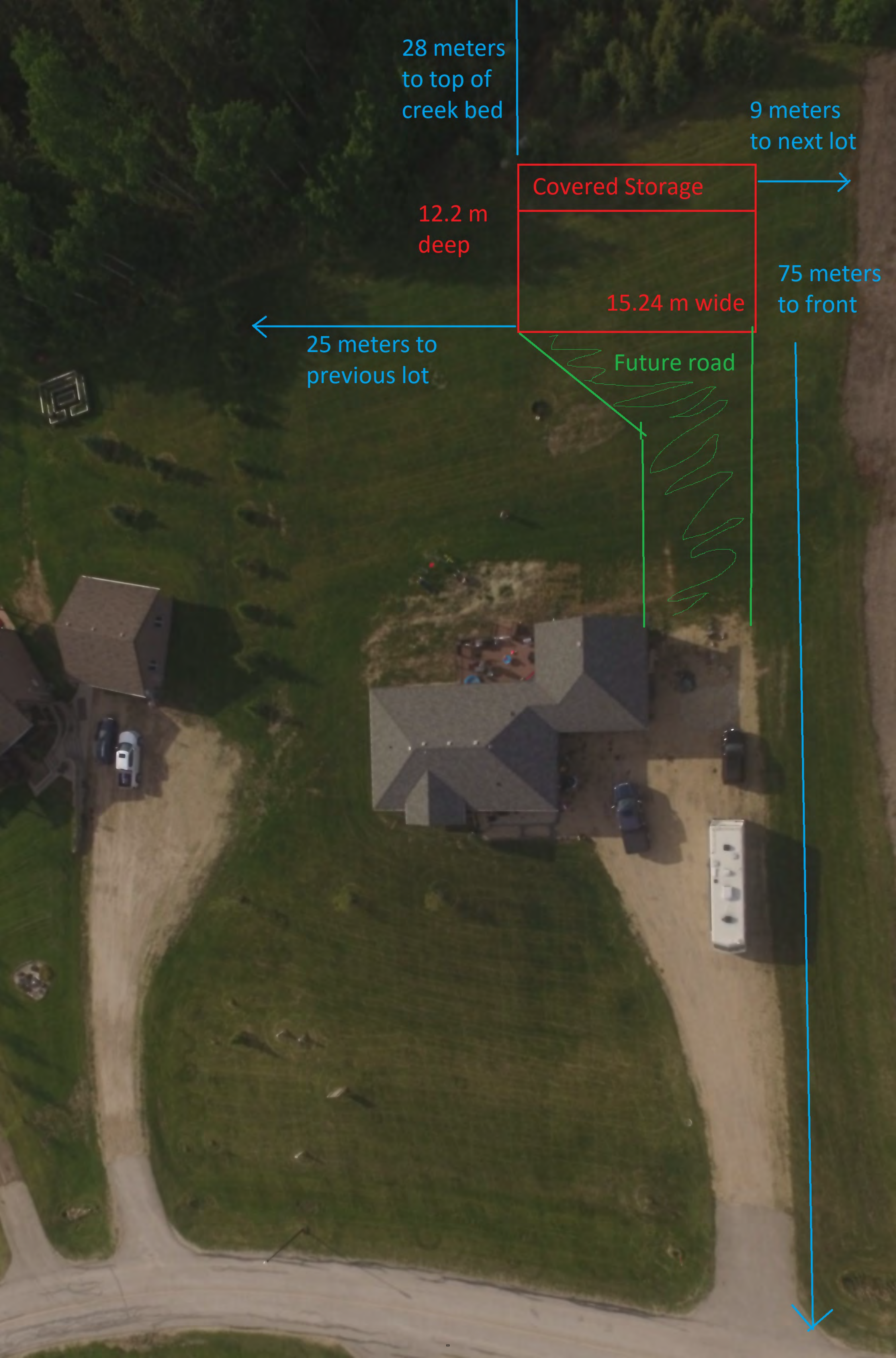
12.2 m  
deep

15.24 m wide

75 meters  
to front

25 meters to  
previous lot

Future road



# VARIANCE REQUEST

MUNICIPAL DISTRICT  
OF GREENVIEW No. 16

RECEIVED

May 23, 2023

VALLEYVIEW



**Municipal District of Greenview No. 16**  
4806 – 36 Avenue, Box 1079, Valleyview AB T0H 3N0  
T 780.524.7600 F 780.524.4307 Toll Free 1.866.524.7608  
[www.mdgreenview.ab.ca](http://www.mdgreenview.ab.ca)

FOR ADMINISTRATIVE USE	
APPLICATION NO.	D23-070
DATE RECEIVED	May 23, 2023
ROLL #	309932

## Applicant Information

Name of Applicant(s): \_\_\_\_\_

Mailing

City:

Primar

Othe

Email:

*(By providing email address you authorize Planning and Development Services to contact you via email)*

*(Complete if different from application)*

Registered Landowner(s) or Leaseholder(s): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ Postal Code: \_\_\_\_\_

Primary Phone: \_\_\_\_\_

Other Phone: \_\_\_\_\_

Email: \_\_\_\_\_

*(By providing email address you authorize Planning and Development Services to contact you via email)*

## Land Information

Legal description of proposed development site: LSD/QTR. \_\_\_\_\_ SEC. \_\_\_\_\_ TWP. \_\_\_\_\_ RGE. \_\_\_\_\_ M. \_\_\_\_\_

Registered plan: Block \_\_\_\_\_ Lot \_\_\_\_\_

## Variations Requested

**List variations requested.** Each variance should also be marked on the site drawing.

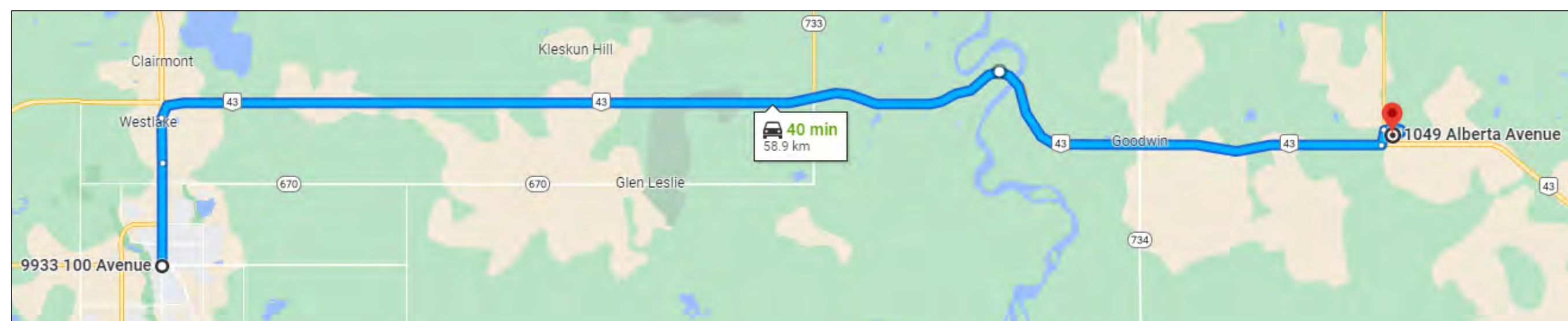
1. \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
2. \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
3. \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_





# MOORE GARAGE

13 1049 ALBERTA AVE.  
DEBOLT, ALBERTA  
LOT 13  
0725943 | 9  
SW-12-72-1-W6



**DIRECTIONS**  
FROM 9933 100 AVE. GRANDE PRAIRIE, ALBERTA CITY CENTER  
HEAD NORTH ON 100th ST./AB-2 N/AB-43 N FOR 5.90 km's.  
USE RIGHT LANE TO MERGE ONTO AB-43 E VIA RAMP TO EDMONTON  
FOR 51.30 km's.  
TURN LEFT ONTO AB-136 N FOR 0.60 km's.  
TURN RIGHT ONTO ALBERTA AVE. FOR 0.65 km's.  
TURN RIGHT ONTO 1049 ALBERTA AVE. FOR 0.12 km's.  
TURN RIGHT TO STAY ON 1049 ALBERTA AVE. FOR 0.35 km's.  
TURN RIGHT INTO 13 1049 ALBERTA AVE.



PERMIT TO PRACTICE  
DESIGN WORKS ENGINEERING LTD.  
RM Signature: *Daniel Chrenka*  
RM APEGA ID#: 195316  
Date: October 19 2022  
PERMIT NUMBER: 12823  
The Association of Professional Engineers and  
Geoscientists of Alberta (APEGA)

LABEL	DESCRIPTION
C1	COVER SHEET
R1	EXTERIOR RENDERINGS
A1	ELEVATIONS
A2	FOUNDATION PLAN
A3	MAIN FLOOR PLAN
A4	UPPER FLOOR PLAN
A5	ROOF PLAN
A6	BUILDING SECTIONS
S1	TALL WALL FRAMING & DETAILS

## CONSTRUCTION ABBREVIATIONS

ABV.	ABOVE	D.P.	DAMP PROOFING	H.W.	HOT WATER	QTY.	QUANTITY
A/C	AIR CONDITIONER	DR.	DOOR	ICF	INSULATED CONCRETE FORMS	R.	RISER
A.D.	ACCESS DOOR	DWG.	DRAWING	I.D.	INSIDE DIAMETER	R/W	REINFORCED WITH
ADD.	ADDITION	E.	EAST	I.F.	INSIDE FACE	R.O.	RADIUS
A.F.F.	ABOVE FINISHED FLOOR	EA.	EACH	IN.	INCH	R.O.	ROUGH OPENING
A.F.G.	ABOVE FINISHED GRADE	ELEV.	ELEVATION	INCL.	INCLUSIVE, INCLUDING	REFG.	REFRIGERATOR
A.G.	ABOVE GRADE	ELECT.	ELECTRIC, ELECTRICAL	INT.	INTERIOR	REF.	REFERENCE
A.H.J.	AUTHORITY HAVING JURISDICTION	ENG.	ENGINEER	JST.	JOIST	REINF.	REINFORCED
ALT.	ALTERNATE	EQUIP	EQUIPMENT	KIT.	KITCHEN	REV.	REVISION
APP'D	APPROVED	EST.	ESTIMATE	LAUN.	LAUNDRY	RM.	ROOM
ARCH.	ARCHITECT/ARCHITECTURAL	E.W.	EACH WAY	LAV.	LAVATORY	RMV.	REMOVE
ASPH.	ASPHALT	EXIST.	EXISTING	LIN.	LINEN	S.	SOUTH
B/I	BUILT-IN	EXT.	EXTERIOR	L.L.	LIVE LOAD	S.C.	SELF CLOSING
B/O	BY OTHERS	F.A.	FIRE ALARM	L/O	LINE OF	SCHED.	SCHEDULE
BLDG.	BUILDING	F.D.	FLOOR DRAIN	LVL	LAMINATED VENEER LUMBER	S.D.	SMOKE DETECTOR
BLK.	BLOCK	FDN.	FOUNDATION	MTL.	MATERIAL	SECT.	SECTION
BM.	BEAM	FIN.	FINISH(ED)	MAX.	MAXIMUM	SHR.	SHOWER
B.O.	BOTTOM OF	FLR.	FLOOR	MECH.	MECHANICAL	SIM.	SIMILAR
BRG.	BEARING	FND.	FOUNDATION	MANUF.	MANUFACTURER	SPECS	SPECIFICATIONS
B.U.	BUILT UP	FO	FACE OF	MFG.	MANUFACTURING	SQ. FT.	SQUARE FOOT
BTM.	BOTTOM	FP	FIRE PLACE	MIN.	MINIMUM	STD.	STANDARD
C/W	COMES WITH	FR.	FRIDGE	MISC.	MISCELLANEOUS	STRUC.	STRUCTURAL
CAD	COMPUTER AIDED DRAWING	FREEZ.	FREEZER	N.	NORTH	STOR.	STORAGE
CANT.	CANTILEVER	FT.	FOOT	N.T.S.	NOT TO SCALE	SYS.	SYSTEM
C.L.	CENTER LINE	FTG.	FOOTING	N.F.C.	NOT FOR CONSTRUCTION	T.	TREAD
C.I.P.	CAST IN PLACE	FURN.	FURNACE	NO.	NUMBER	T+G	TONGUE AND GROOVE
CL.	CLOSET	GA.	GAUGE	NOM.	NOMINAL	T/O	TOP OF
CLG.	CEILING	GAR.	GARAGE	O/C	ON CENTER	TYP.	TYPICAL
COL.	COLUMN	G.C.	GENERAL CONTRACTOR	O.D.	OUTSIDE DIAMETER	U/S	UNDERSIDE
CONT.	CONTINUOUS	GYP.	GYP SUM	O.R.	OUTSIDE RADIUS	UNF.	UNFINISHED
CONST.	CONSTRUCTION	H.B.	HOSE BIB	O.H.	OVERHEAD	UNO	UNLESS NOTED OTHERWISE
CONTR.	CONTRACTOR	H.C.	HOLLOW CORE	OPNG.	OPENING	V.B.	VAPOUR BARRIER
CONC.	CONCRETE	HDR.	HEADER	PAN.	PANTRY	VERT.	VERTICAL
COV.	COVERED	HOR.	HORIZONTAL	P.C.C.	PRECAST CONCRETE	W.	WEST
D/W	DISHWASHER	HR.	HOUR	P.L.	PROPERTY LINE	W.C.	TOILET (WATER CLOSET)
DIA.	DIAMETER	H.R.	HAND RAIL	PLYWD.	PLYWOOD	WP	WEATHER PROOF
DIM.	DIMENSION	HRV	HEAT RECOVERY VENTILATOR	PRT.	PARTITION	WTR HTR	WATER HEATER
D.L.	DEAD LOAD	HTR.	HEATER	P&F	PER SQUARE FOOT	WIC	WALK IN CLOSET
DN.	DOWN	H.V.A.C.	HEATING, VENTING AND AIR CONDITIONING	P.T.	PRESSURE TREATED	W/O	WITHOUT

PROJECT: MOORE GARAGE

DRAWING: COVER PAGE

CONTRACTOR:

REFERENCE #: D22066

DRAWN BY: R.C.N.D.

DATE: 10/19/2022

**RCDRAFTING**  
& design services

CELL: (780) 228-5931, E-MAIL: RUSSELLC@RCDRAFTING.NET

SQUARE FOOTAGE:

MECH/ENTRY: 130 SQ. FT.  
UPPER FLOOR: 1,409 SQ. FT.  
TOTAL: 1,539 SQ. FT.  
GARAGE: 1,370 SQ. FT.  
COV. STOR.: 800 SQ. FT.  
COV. ENTRY: 95 SQ. FT.

REVISIONS:

DISCLAIMER:  
WHILE RC DRAFTING AND DESIGN SERVICES MAKES EVERY EFFORT TO PROVIDE ACCURATE DRAWINGS, IT IS THE RESPONSIBILITY OF THE HOME OWNER/CONTRACTOR TO CHECK ALL DIMENSIONS AND COMPLIANCE TO LOCAL AND NATIONAL BUILDING CODES.

SHEET #:

C1





**PERMIT TO PRACTICE**  
 DESIGN WORKS ENGINEERING LTD.  
 RM Signature: *[Signature]*  
 RM APEGA ID# 195316  
 Date: October 19 2022  
**PERMIT NUMBER: 12823**  
The Association of Professional Engineers and Geoscientists of Alberta (APEGA)

SHEET #:

71

DISCLAIMER:  
 WHILE RC DRAFTING AND DESIGN SERVICES MAKES EVERY EFFORT TO PROVIDE ACCURATE DRAWINGS, IT IS THE RESPONSIBILITY OF THE HOME OWNER/CONTRACTOR TO CHECK ALL DIMENSIONS AND COMPLIANCE TO LOCAL AND NATIONAL BUILDING CODES.

REVISIONS:

SQUARE FOOTAGE:

MECH./ENTRY: 130 SQ. FT.  
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 TOTAL: 1,539 SQ. FT.  
 GARAGE: 1,370 SQ. FT.  
 COV. STOR.: 800 SQ. FT.  
 COV. ENTRY: 95 SQ. FT.

PROJECT: MOORE GARAGE

DRAWING: EXTERIOR RENDERINGS

CONTRACTOR:

REFERENCE #: D22066

DRAWN BY: R.C., N.D.

DATE: 10/19/2022

**RC DRAFTING**  
 & design services

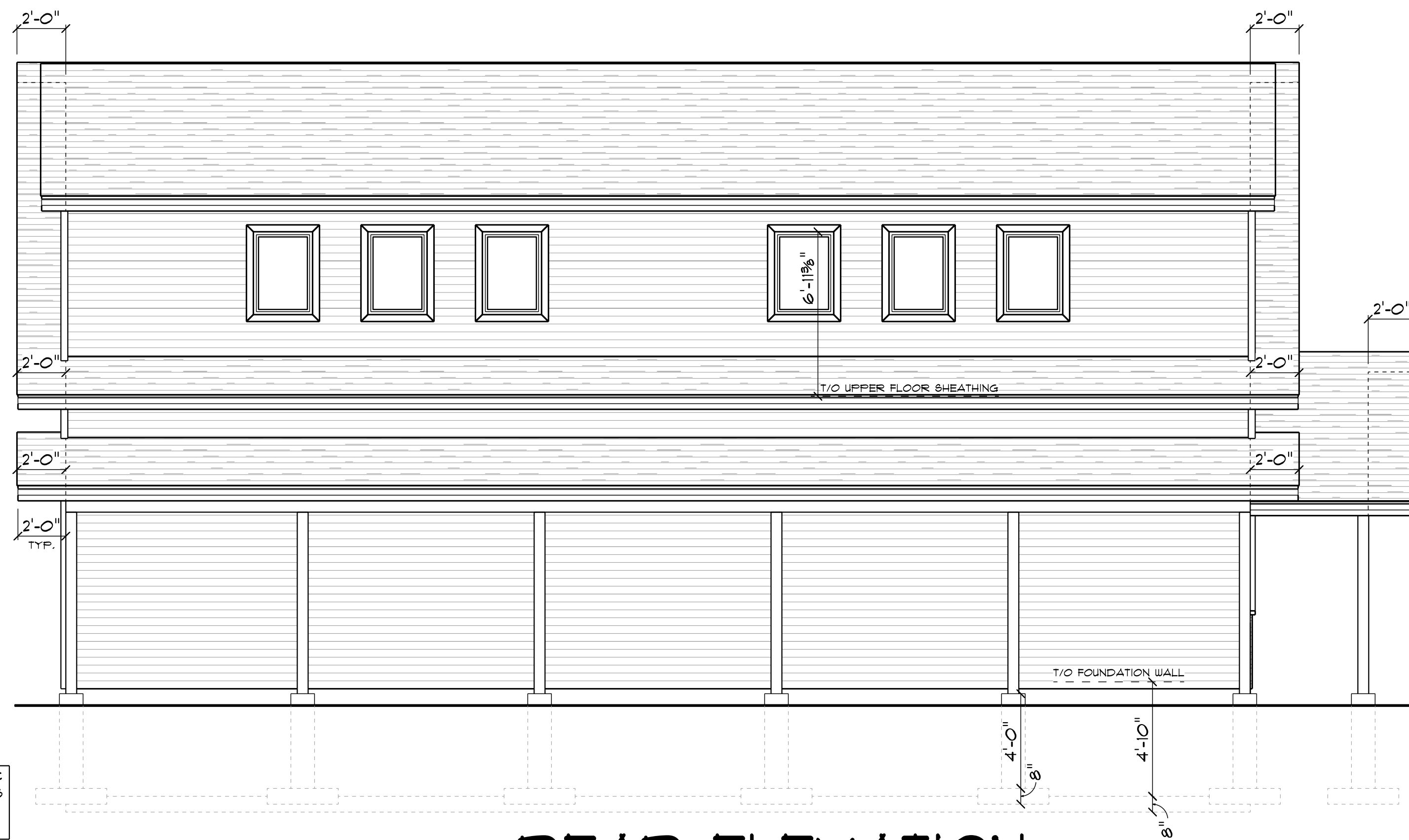
CELL: (780) 228-5931, E-MAIL: RUSSELLC@RCDRAFTING.NET



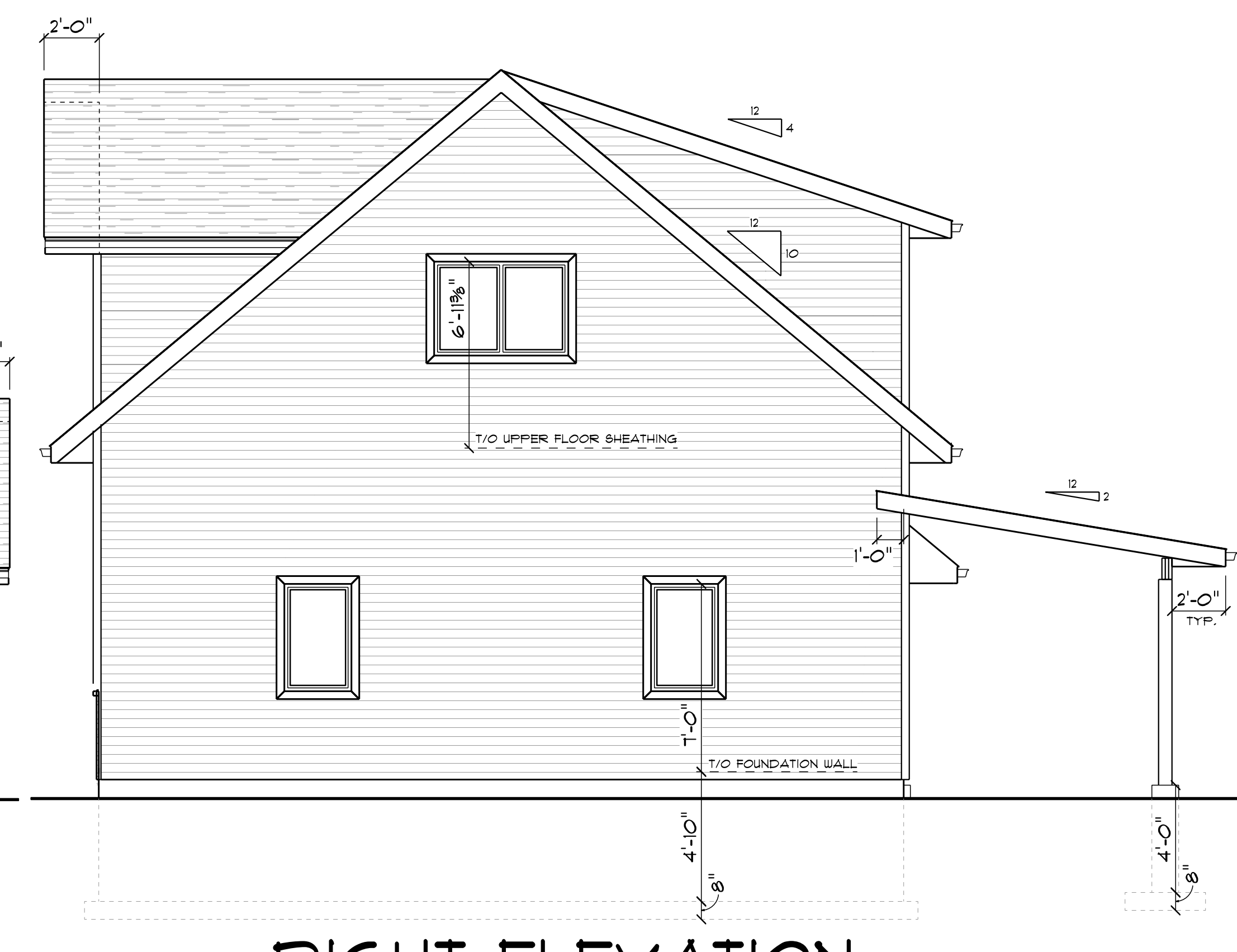
**FRONT ELEVATION:**  
1/4" TO 1'-0" SCALE



**LEFT ELEVATION:**  
1/4" TO 1'-0" SCALE



**REAR ELEVATION:**  
1/4" TO 1'-0" SCALE



**RIGHT ELEVATION:**  
1/4" TO 1'-0" SCALE

NOTES:  
METAL FLASHING TYPICAL  
OVER ALL EXTERIOR OPENINGS.  
WINDOW WELLS AS REQ'D.  
ROOF VENTS 1/300 SQ. FT.  
ATTIC SPACE.  
FINAL GRADE AS PER  
SITE PLAN.

NOTE: TOP OF MAIN FLOOR WINDOWS TO BE  
AT 1'-0" FROM TOP OF FOUNDATION  
WALL UNLESS OTHERWISE NOTED.

NOTE: WORKING DRAWINGS ARE A GRAPHIC  
REPRESENTATION ONLY. ACTUAL PRODUCTS  
AND MATERIALS USED MAY VARY FROM  
DEPICTION ON DRAWINGS.

NOTE: SALES CONTRACT AND SPECIFICATIONS  
MUST TAKE PRECEDENCE OVER DRAWINGS.

NOTE: TOP OF UPPER FLOOR WINDOWS TO BE  
AT 6'-11-3/8" FROM TOP OF UPPER FLOOR  
SHEATHING UNLESS OTHERWISE NOTED.

WINDOW SIZES ARE APPROXIMATIONS ONLY AND  
MAY VARY FROM ONE WINDOW MANUFACTURER  
TO ANOTHER WINDOW MANUFACTURER

NOTE: GRADES ARE APPROXIMATE ONLY. FINAL  
GRADES AS PER SITE PLAN AND SITE CONDITIONS.  
RETAINING WALLS BY OTHERS AS REQUIRED.



PERMIT TO PRACTICE  
DESIGN WORKS ENGINEERING LTD.  
RM Signature: *Daniel Chrenka*  
RM APEGA ID#: 195316  
Date: October 19 2022  
PERMIT NUMBER: 12823  
The Association of Professional Engineers and  
Geoscientists of Alberta (APEGA)

SHEET #:  
**A1**

DISCLAIMER:  
WHILE RC DRAFTING AND DESIGN  
SERVICES MAKES EVERY EFFORT  
TO PROVIDE ACCURATE DRAWINGS,  
IT IS THE RESPONSIBILITY OF THE  
HOME OWNER/CONTRACTOR TO  
CHECK ALL DIMENSIONS AND  
COMPLIANCE TO LOCAL AND  
NATIONAL BUILDING CODES.

REVISIONS:

SQUARE FOOTAGE:

MECH. ENTRY: 130 SQ. FT.  
UPPER FLOOR: 1,409 SQ. FT.  
TOTAL: 1,539 SQ. FT.  
GARAGE: 1,370 SQ. FT.  
COV. STOR.: 800 SQ. FT.  
COV. ENTRY: 95 SQ. FT.

PROJECT: MOORE GARAGE

DRAWING: FRONT AND LEFT ELEVATION

CONTRACTOR:

REFERENCE #: D22066

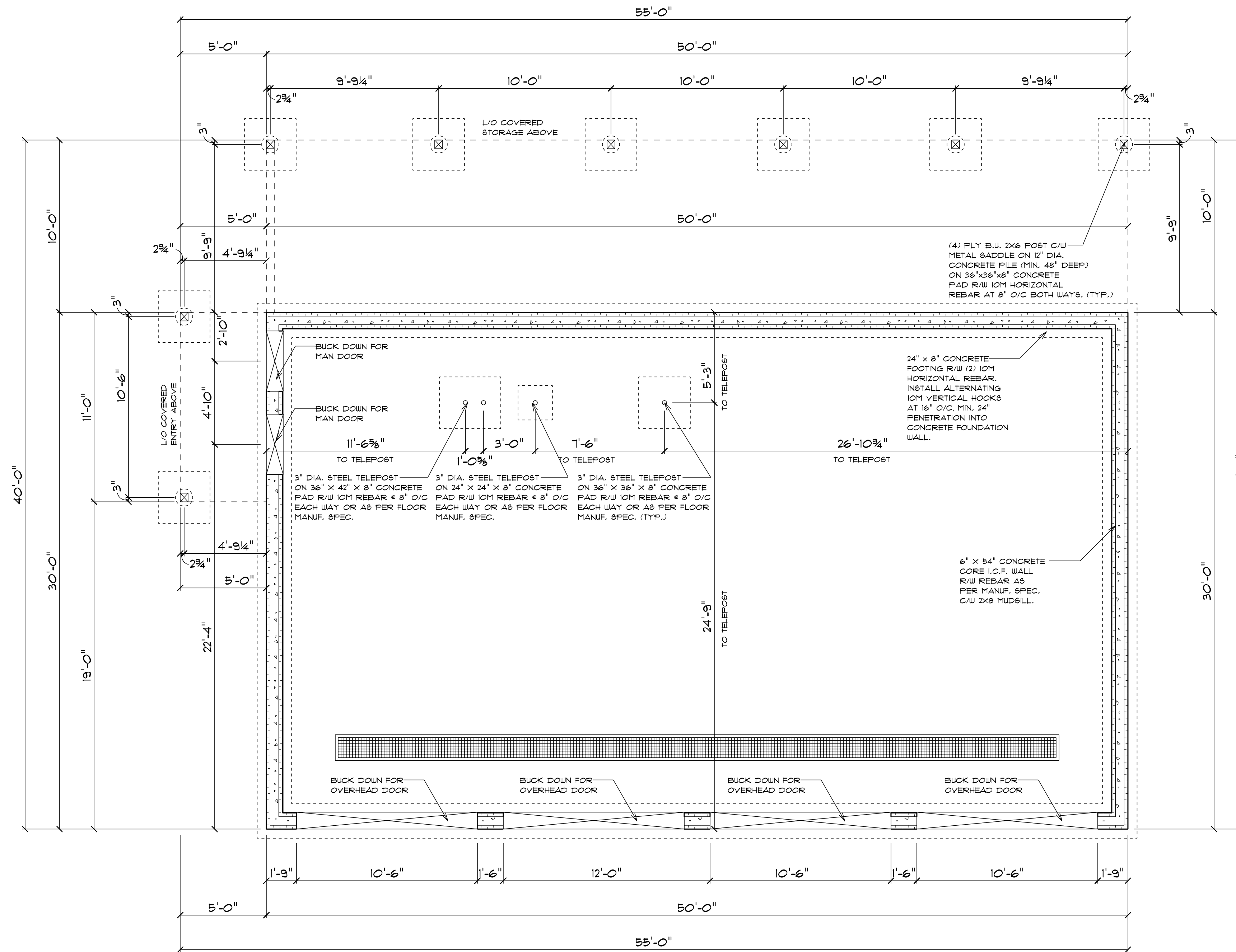
DRAWN BY: R.C.N.D.

DATE: 10/19/2022

**RC DRAFTING**  
& design services

CELL: (780) 228-5931, E-MAIL: RUSSELLC@RCDRAFTING.NET

WALL LEGEND	
	8" CONCRETE CORE I.C.F. WALL
	2x6 EXTERIOR WALL
	2x6 INSULATED WALL
	2x6 INTERIOR PARTITION WALL
	2x4 INTERIOR PARTITION WALL



## FOUNDATION PLAN:

1/4" TO 1'-0" SCALE

NOTE: WORKING DRAWINGS ARE A GRAPHIC REPRESENTATION ONLY. ACTUAL PRODUCTS AND MATERIALS USED MAY VARY FROM DEPICTION ON DRAWINGS.

NOTE: GRADES ARE APPROXIMATE ONLY. FINAL GRADES AS PER SITE PLAN AND SITE CONDITIONS. RETAINING WALLS AS REQUIRED.

NOTE: SALES CONTRACT AND SPECIFICATIONS MUST TAKE PRECEDENCE OVER DRAWINGS.

WINDOW SIZES ARE APPROXIMATIONS ONLY AND MAY VARY FROM ONE WINDOW MANUFACTURER TO ANOTHER WINDOW MANUFACTURER

TELEPOST AND PAD SIZE TO BE COMPARED TO FLOOR MANUF. DRAWINGS. FLOOR MANUF. SPEC. FOR POST, PAD, AND REINFORCING DETAILS TAKE PRECEDENCE OVER ARCHITECTURAL DRAWINGS.

FOUNDATION WALL AND FOOTING DESIGN BASED ON STANDARD SOIL CONDITIONS AS OUTLINED IN THE BRITISH COLUMBIA BUILDING CODE. ANY VARIANCE IN SOIL CONDITIONS MAY REQUIRE THE FOUNDATION TO BE ENGINEERED. ANY ENGINEERING IS THE SOLE RESPONSIBILITY OF THE OWNER/CONTRACTOR.

STEPS IN FOOTINGS TO BE CALCULATED AS PER SITE PLAN AND IN ACCORDANCE WITH THE BUILDING CODE.

ALL STRUCTURAL SYSTEMS TO BE ENGINEERED BY OTHERS. BEAM LOCATIONS ARE A GUIDELINE ONLY. ENGINEERS DRAWINGS AND SPECIFICATIONS WILL TAKE PRECEDENCE OVER ARCHITECTURAL DRAWINGS.



PERMIT TO PRACTICE  
 DESIGN WORKS ENGINEERING LTD.  
 RM Signature: *[Signature]*  
 RM APEGA ID#: 195316  
 Date: October 19 2022  
 PERMIT NUMBER: 12823  
 The Association of Professional Engineers and Geoscientists of Alberta (APEGA)

SHEET #:

A2

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REVISIONS:

SQUARE FOOTAGE:

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 UPPER FLOOR: 1,409 SQ. FT.  
 TOTAL: 1,539 SQ. FT.  
 GARAGE: 1,370 SQ. FT.  
 COV. STOR.: 800 SQ. FT.  
 COV. ENTRY: 95 SQ. FT.

PROJECT: MOORE GARAGE

DRAWING: FOUNDATION PLAN

CONTRACTOR:

REFERENCE #: D22066

DRAWN BY: R.C.N.D.

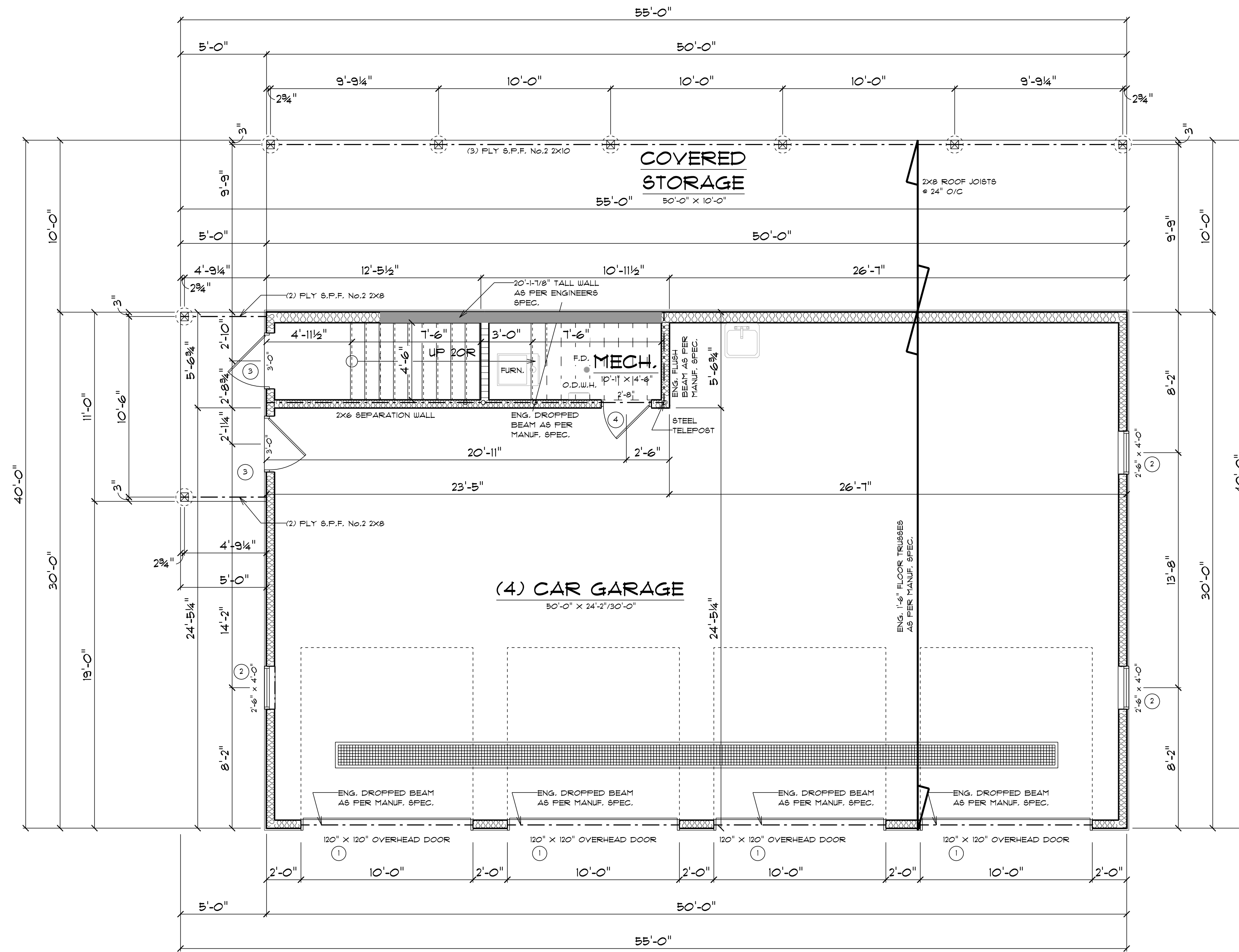
DATE: 10/19/2022

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WALL LEGEND	
	8" CONCRETE CORE I.C.F. WALL
	2x6 EXTERIOR WALL
	2x6 INSULATED WALL
	2x6 INTERIOR PARTITION WALL
	2x4 INTERIOR PARTITION WALL

EXTERIOR OPENING LEGEND		
LABEL	QTY	DESCRIPTION
①	4	120" x 120" OVERHEAD DOOR
②	3	30" x 48" WINDOW
③	2	36" x 80" EXTERIOR DOOR
④	1	32" x 80" EXTERIOR SELF CLOSING WEATHER STRIPPED DOOR



## MAIN FLOOR PLAN: 1,370 SQ. FT.

1/4" TO 1'-0" SCALE

11'-2 1/4" CEILING

NOTE: TOP OF MAIN FLOOR WINDOWS TO BE AT 1'-0" FROM TOP OF FOUNDATION WALL UNLESS OTHERWISE NOTED.

NOTE: WORKING DRAWINGS ARE A GRAPHIC REPRESENTATION ONLY. ACTUAL PRODUCTS AND MATERIALS USED MAY VARY FROM DEPICTION ON DRAWINGS.

NOTE: SALES CONTRACT AND SPECIFICATIONS MUST TAKE PRECEDENCE OVER DRAWINGS.

WINDOW SIZES ARE APPROXIMATIONS ONLY AND MAY VARY FROM ONE WINDOW MANUFACTURER TO ANOTHER WINDOW MANUFACTURER

NOTE: GRADES ARE APPROXIMATE ONLY. FINAL GRADES AS PER SITE PLAN AND SITE CONDITIONS. RETAINING WALLS BY OTHERS AS REQUIRED.



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SHEET #:

A3

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REVISIONS:

SQUARE FOOTAGE:

MECH. ENTRY: 130 SQ. FT.  
 UPPER FLOOR: 1,409 SQ. FT.  
 TOTAL: 1,539 SQ. FT.  
 GARAGE: 1,370 SQ. FT.  
 COV. STOR.: 500 SQ. FT.  
 COV. ENTRY: 95 SQ. FT.

PROJECT: MOORE GARAGE

DRAWING: MAIN FLOOR PLAN

CONTRACTOR:

REFERENCE #: D22066

DRAWN BY: R.C.N.D.

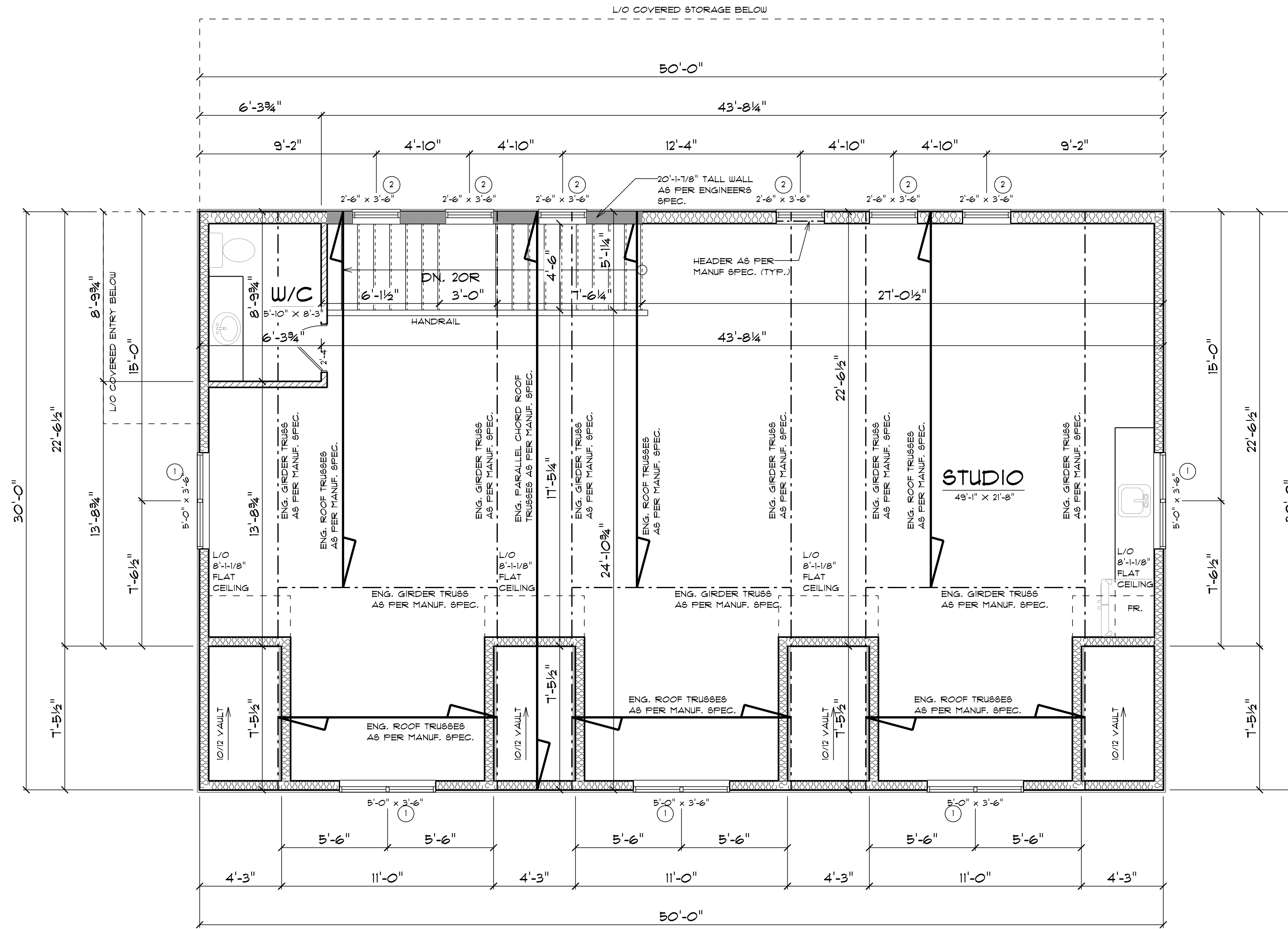
DATE: 10/19/2022

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WALL LEGEND	
	8" CONCRETE CORE I.C.F. WALL
	2x6 EXTERIOR WALL
	2x6 INSULATED WALL
	2x6 INTERIOR PARTITION WALL
	2x4 INTERIOR PARTITION WALL

EXTERIOR OPENING LEGEND		
LABEL	QTY	DESCRIPTION
①	5	60" X 42" WINDOW
②	6	30" X 42" WINDOW



## UPPER FLOOR PLAN: 1,409 SQ. FT.

1/4" TO 1'-0" SCALE

8'-1-1/8" CEILING

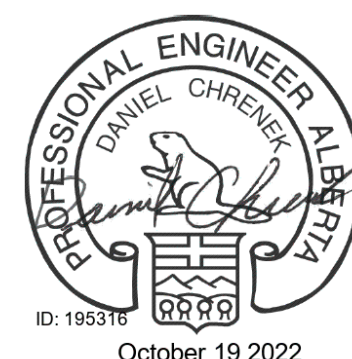
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NOTE: SALES CONTRACT AND SPECIFICATIONS MUST TAKE PRECEDENCE OVER DRAWINGS.

NOTE: TOP OF UPPER FLOOR WINDOWS TO BE AT 6'-11-3/8" FROM TOP OF UPPER FLOOR SHEATHING UNLESS OTHERWISE NOTED.

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NOTE: GRADES ARE APPROXIMATE ONLY. FINAL GRADES AS PER SITE PLAN AND SITE CONDITIONS. RETAINING WALLS BY OTHERS AS REQUIRED.



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SHEET #:

A4

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REVISIONS:

SQUARE FOOTAGE:

MECH./ENTRY: 130 SQ. FT.  
 UPPER FLOOR: 1,409 SQ. FT.  
 TOTAL: 1,539 SQ. FT.  
 GARAGE: 1370 SQ. FT.  
 COV. STOR.: 800 SQ. FT.  
 COV. ENTRY: 95 SQ. FT.

PROJECT: MOORE GARAGE

DRAWING: UPPER FLOOR PLAN

CONTRACTOR:

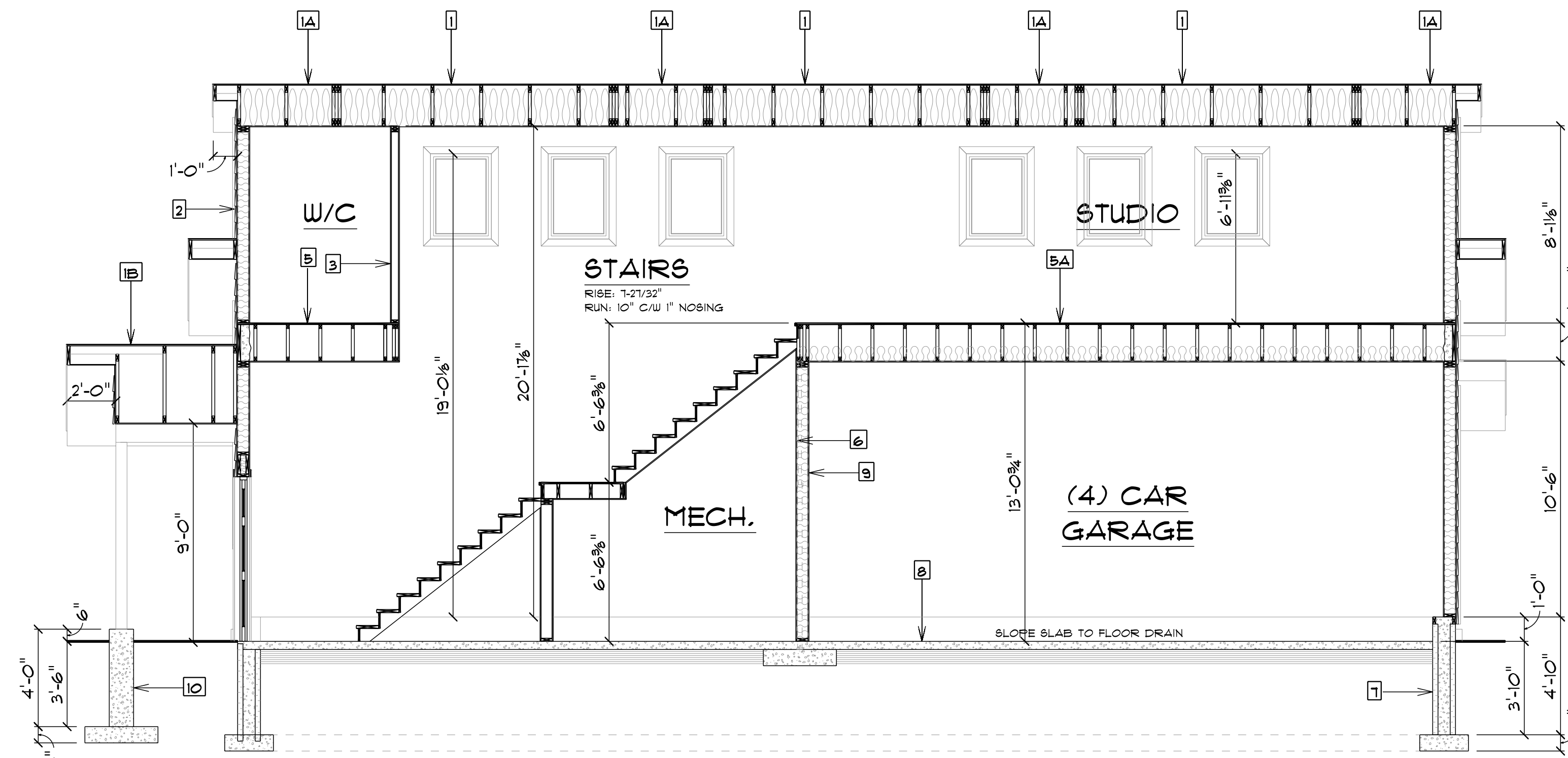
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DRAWN BY: R.C., N.D.

DATE: 10/19/2022

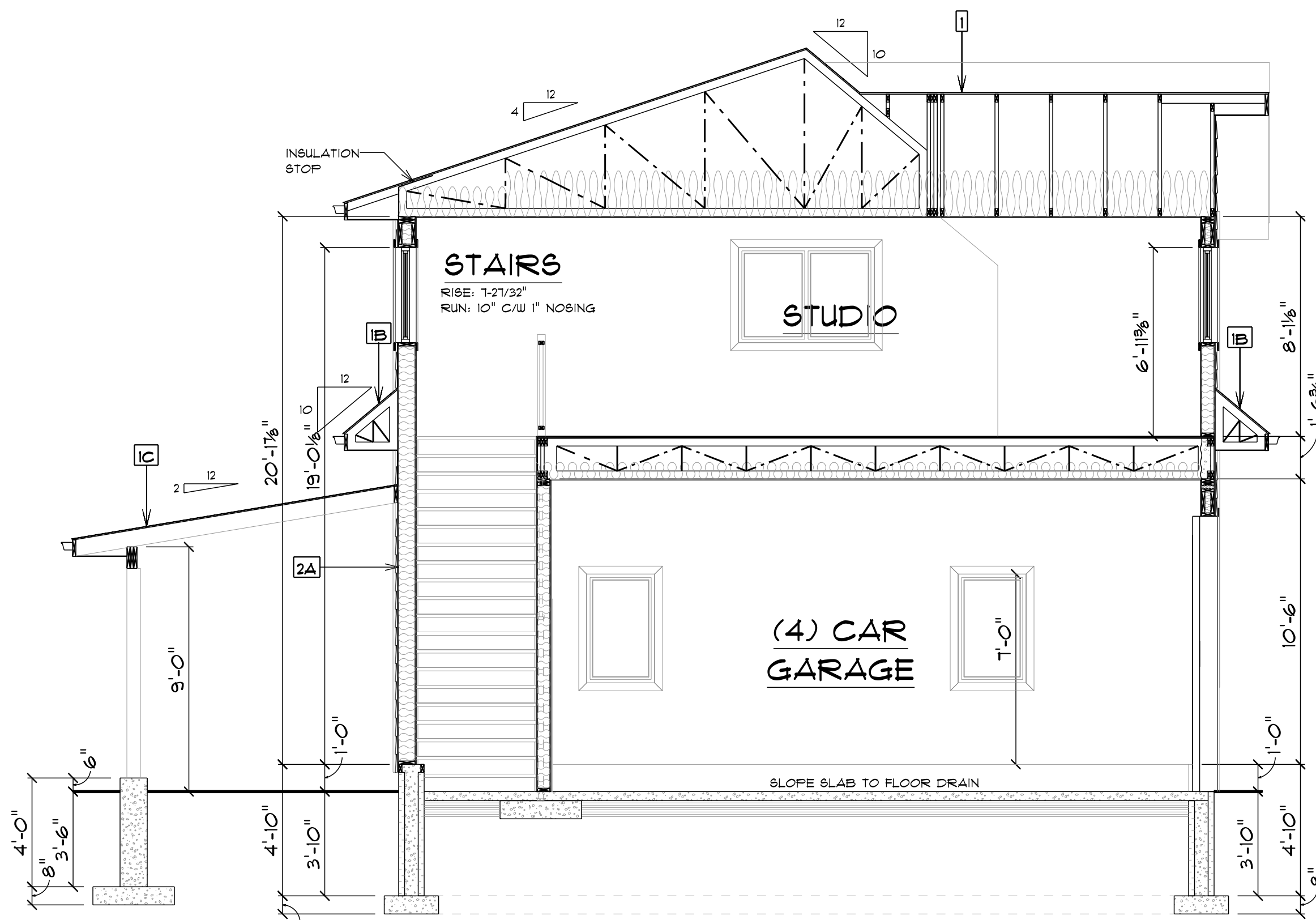
**RC DRAFTING**  
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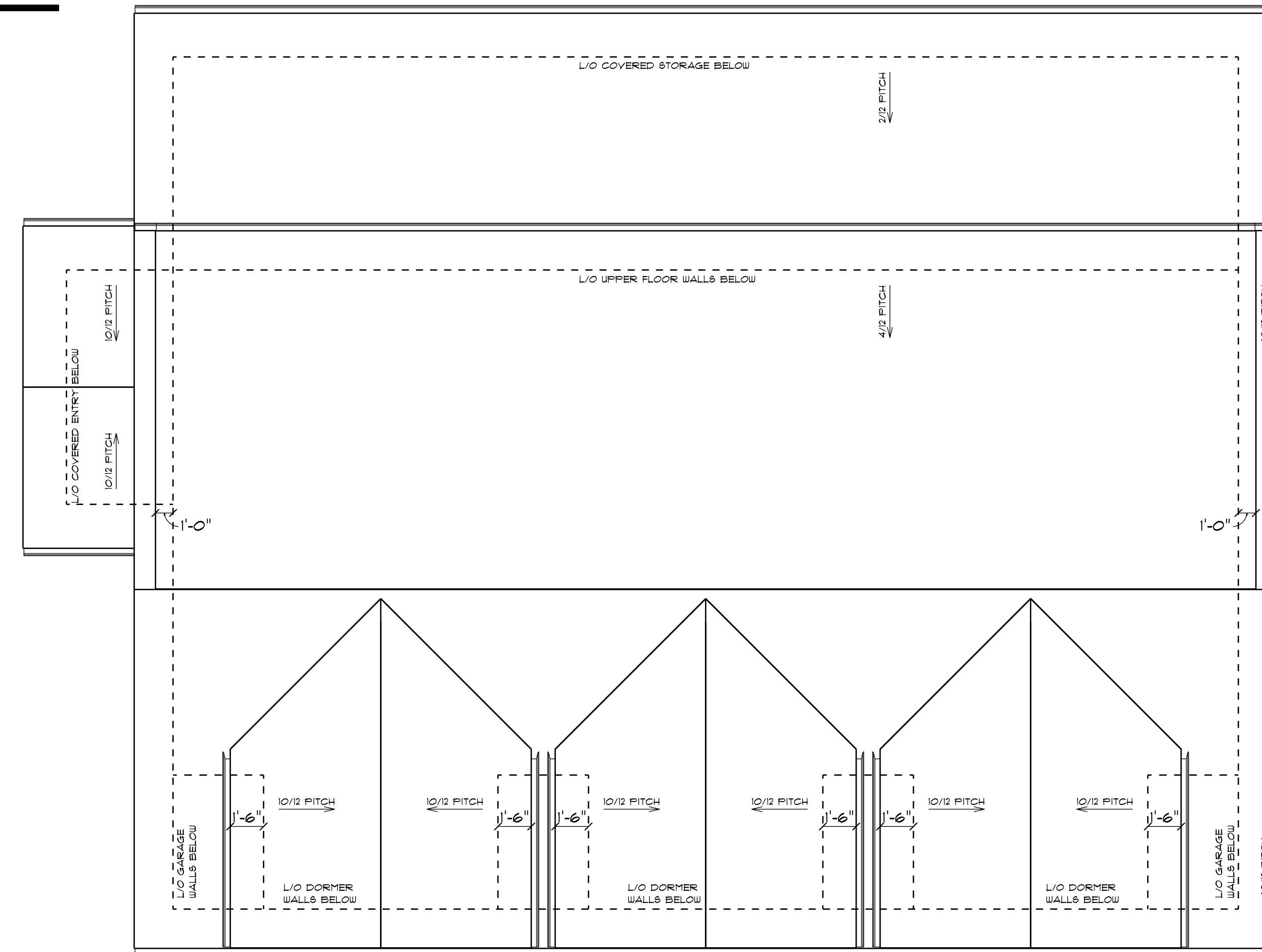
**BUILDING SECTION A-A:**

1/4" TO 1'-0" SCALE



**BUILDING SECTION B-B:**

1/4" TO 1'-0" SCALE



**ROOF PLAN:**

1/4" TO 1'-0" SCALE

NOTE: ALL ROOF OVERHANGS TO BE 24" UNLESS NOTED OTHERWISE.

**SNOW LOAD**

$$2.2 \text{ kPa (8e)} \times 0.55 + 0.1 \text{ kPa (8r)} = 1.31 \text{ kPa (27.4 P\&F)}$$

NOTE: SALES CONTRACT AND SPECIFICATIONS MUST TAKE PRECEDENCE OVER DRAWINGS.

NOTE: TOP OF UPPER FLOOR WINDOWS TO BE AT 6'-11-3/8" FROM TOP OF UPPER FLOOR SHEATHING UNLESS OTHERWISE NOTED.

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NOTE: TOP OF MAIN FLOOR WINDOWS TO BE AT 1'-0" FROM TOP OF FOUNDATION WALL UNLESS OTHERWISE NOTED.

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**A5**

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COV. STOR.: 800 SQ. FT.  
COV. ENTRY: 95 SQ. FT.

PROJECT: MOORE GARAGE

DRAWING: ROOF PLAN

CONTRACTOR:

REFERENCE #: D22066

DRAWN BY: R.C.N.D.

DATE: 10/19/2022

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**GENERAL NOTES**

- ENTRANCE DOORS TO BE SOLID CORE IN ACCORDANCE WITH SUBSECTION 9.6.6. OF A.B.C.
- ENTRANCE DOOR BETWEEN HOUSE AND GARAGE SHALL HAVE A SELF-CLOSING MECHANISM C/W WEATHER STRIPPING
- PROVIDE FLASHING ABOVE ALL EXTERIOR DOORS, WINDOWS, AND OPENINGS
- NON-HARDENING CAULKING COMPOUND TO BE USED OVER AND AROUND ALL EXTERIOR OPENINGS
- SIDING/STUCCO TO BE 8" ABOVE FINISHED GRADE
- ALL LINTELS TO BE 3"x10" BUILT UP
- SPACE BETWEEN RAILING PICKETS NOT TO EXCEED 4"
- ATTIC HATCH TO BE 20"x28"(MIN.) C/W INSULATED AND SEALED (FOAM TAPE) DOOR
- TOP OF FIREPLACE CHIMNEY SHALL BE 3'-0" ABOVE THE HIGHEST POINT THAT IT COMES INTO CONTACT WITH ROOF SURFACE, OR 2'-0" ABOVE ROOF SURFACE WITHIN A HORIZONTAL DISTANCE OF 10'-0" FROM CHIMNEY WHICHEVER IS GREATER
- COMBUSTION AIR FOR FIREPLACE MUST BE SUPPLIED BY DEDICATED AIR INTAKES OTHER THAN WINDOWS/DOORS
- LINEN CLOSET TO HAVE 4- 14"(MIN.) DEEP SHELVES
- WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE A MINIMUM OF ONE AIR EXCHANGE PER HOUR
- FOR ROOF PITCHES UP TO 9/12 TOP OF U.L.C. RATED 'B' VENT SHALL BE 2'-0" FROM THE HIGHEST POINT THAT IT COMES INTO CONTACT WITH ROOF SURFACE OR 2'-0" ABOVE ROOF SURFACE WITHIN A HORIZONTAL DISTANCE OF 10'-0" FROM 'B' VENT WHICHEVER IS GREATER PROVIDE A 2"(MIN.) AIRSPACE AROUND 'B' VENT IN ALL LOCATIONS
- FOR ROOF PITCHES GREATER THAN 9/12 TOP OF U.L.C. RATED 'B' VENT SHALL BE 4'-0" FROM THE HIGHEST POINT THAT IT COMES INTO CONTACT WITH ROOF SURFACE, OR 2'-0" ABOVE ROOF SURFACE WITHIN A HORIZONTAL DISTANCE OF 10'-0" FROM 'B' VENT WHICHEVER IS GREATER
- PROVIDE A 2"(MIN.) AIRSPACE AROUND 'B' VENT IN ALL LOCATIONS
- COMBUSTION AIR FOR FURNACES MUST BE SUPPLIED BY DEDICATED AIR INTAKES
- FURNACE VENTING FOR FRESH AIR AND COMBUSTION AIR TO BE LOCATED ON SITE
- DRYER MUST BE VENTED TO THE EXTERIOR C/W CAP FOR VENT
- ELECTRICAL PANEL TO BE LOCATED ON SITE IF NOT INDICATED ON FLOOR PLANS
- ALL WORKMANSHIP TO BE A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE IN ACCORDANCE WITH NATIONAL BUILDING CODES AND ALBERTA BUILDING CODES

NOTE: TOP OF MAIN FLOOR WINDOWS TO BE AT 1'-0" FROM TOP OF FOUNDATION WALL UNLESS OTHERWISE NOTED.

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NOTE: TOP OF UPPER FLOOR WINDOWS TO BE AT 6'-11-3/8" FROM TOP OF UPPER FLOOR SHEATHING UNLESS OTHERWISE NOTED.

WINDOW SIZES ARE APPROXIMATIONS ONLY AND MAY VARY FROM ONE WINDOW MANUFACTURER TO ANOTHER WINDOW MANUFACTURER

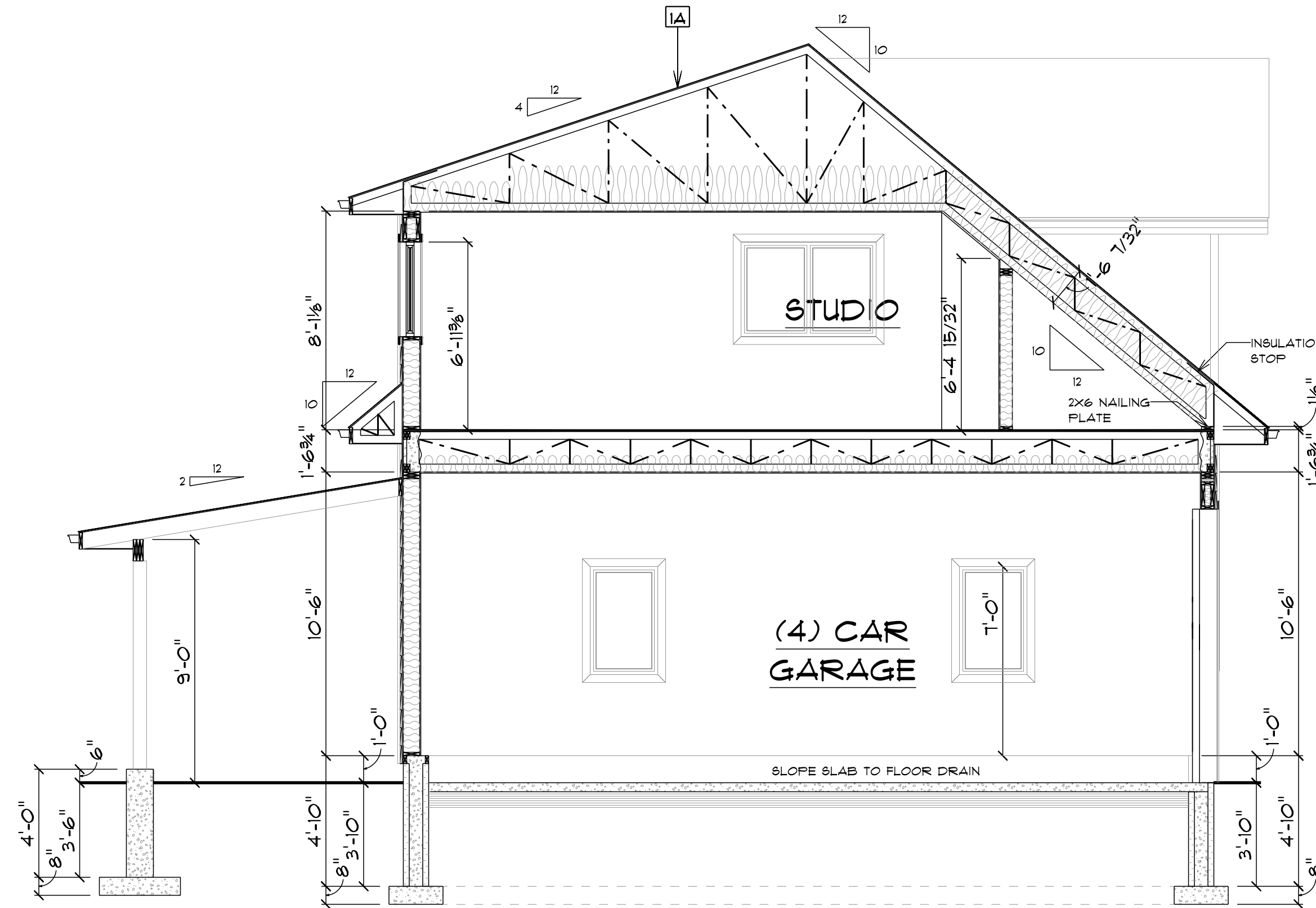
TELEPOST AND PAD SIZE TO BE COMPARED TO FLOOR MANUF. DRAWINGS, FLOOR MANUF. SPEC. FOR POST, PAD, AND REINFORCING DETAILS TAKE PRECEDENCE OVER ARCHITECTURAL DRAWINGS.

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**BUILDING SECTION C-C:**  
1/4" TO 1'-0" SCALE

**CONSTRUCTION SPECIFICATIONS**

ALL DRAWINGS, DIMENSIONS, DETAILS & NOTES ARE TO BE REVIEWED BY THE APPLICABLE CONTRACTOR/ SUB-CONTRACTOR PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED IMMEDIATELY TO RC DRAFTING. LIABILITY RESTS SOLELY WITH THE CONTRACTOR WHEN THESE CONDITIONS ARE NOT MET.

**1 ROOF SYSTEM**

- FIBREGLASS SHINGLES
- BUILDING PAPER
- 1/2" O.S.B. C/W H-CLIPS
- ENGINEERED APPROVED PREMANUFACTURED ROOF TRUSSES SPACED AT 24" O.C. C/W 1x4 SPRUCE BRACINGS AT 1'-0" O.C. NAILED TO BOTTOM CHORD OF TRUSS
- R-30 BLOWN IN INSULATION
- C/W INSULATION STOPS
- 6 MII POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD (CEILING BOARD)
- TEXTURE/PAINT TO BUILDERS SPEC.
- ALUMINUM FASCIA ON WOOD BACKING
- ALUMINUM EAVESTROUGH AND DOWNSPOUTS
- VENTED ALUMINUM SOFFITS
- PROVIDE EAVE PROTECTION
- PROVIDE ATTIC VENTING OF 1300 OF INSULATED CEILING AREA

**1A ALT. ROOF SYSTEM**

- FIBREGLASS SHINGLES
- BUILDING PAPER
- 1/2" O.S.B. C/W H-CLIPS
- ENGINEERED APPROVED PREMANUFACTURED PARALLEL CHORD ROOF TRUSSES SPACED AT 24" O.C. C/W 1x4 SPRUCE BRACING AT 1'-0" O.C. NAILED TO BOTTOM CHORD OF TRUSS
- R-30 BLOWN IN INSULATION
- C/W INSULATION STOPS
- 6 MII POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD (CEILING BOARD)
- TEXTURE/PAINT TO BUILDERS SPEC.
- ALUMINUM FASCIA ON WOOD BACKING
- ALUMINUM EAVESTROUGH AND DOWNSPOUTS
- VENTED ALUMINUM SOFFITS
- PROVIDE EAVE PROTECTION
- PROVIDE ATTIC VENTING OF 1300 OF INSULATED CEILING AREA

**1B ALT. ROOF SYSTEM**

- FIBREGLASS SHINGLES
- BUILDING PAPER
- 1/2" O.S.B. C/W H-CLIPS
- ENGINEERED APPROVED PREMANUFACTURED ROOF TRUSSES SPACED AT 24" O.C. C/W 1x4 SPRUCE BRACINGS AT 1'-0" O.C. NAILED TO BOTTOM CHORD OF TRUSS
- ALUMINUM FASCIA ON WOOD BACKING
- ALUMINUM EAVESTROUGH AND DOWNSPOUTS
- VENTED ALUMINUM SOFFITS
- PROVIDE EAVE PROTECTION
- PROVIDE ATTIC VENTING OF 1300 OF INSULATED CEILING AREA

**1C ALT. ROOF SYSTEM**

- FIBREGLASS SHINGLES
- BUILDING PAPER
- 1/2" O.S.B. C/W H-CLIPS
- 2x8 ROOF JOISTS @ 24" O.C
- ALUMINUM FASCIA ON WOOD BACKING
- ALUMINUM EAVESTROUGH AND DOWNSPOUTS
- VENTED ALUMINUM SOFFITS
- PROVIDE EAVE PROTECTION
- PROVIDE ATTIC VENTING OF 1300 OF INSULATED CEILING AREA

**2 EXTERIOR WALL**

- EXTERIOR FINISH AS PER ELEVATIONS
- WALL SHEATHING MEMBRANE
- 3/8" O.S.B. SHEATHING
- 2x6 KILN DRIED SPRUCE STUDS SPACED AT 16" O.C.
- R-20 BATT INSULATION
- 6 MII POLY VAPOUR BARRIER
- 1/2" INTERIOR GYPSUM BOARD
- PAINT/WALL FINISH TO BUILDERS/OWNERS SPEC.

**2A ALT. EXTERIOR WALL**

- EXTERIOR FINISH AS PER ELEVATIONS
- WALL SHEATHING MEMBRANE
- 3/8" O.S.B. SHEATHING
- 2x KILN DRIED SPRUCE STUDS SPACED AT 16" O.C.
- R-20 BATT INSULATION
- 6 MII POLY VAPOUR BARRIER
- 1/2" INTERIOR GYPSUM BOARD
- PAINT/WALL FINISH TO BUILDERS/OWNERS SPEC.

**3 INTERIOR PARTITION**

- 2x4 SPRUCE STUDS AT 16" O.C.
- 1/2" GYPSUM BOARD BOTH SIDES
- PAINT/WALL FINISH TO BUILDERS/OWNERS SPEC.

**4 LOAD BEARING PARTITION**

- 2x6 KILN DRIED SPRUCE STUDS AT 16" O.C.
- 1/2" GYPSUM BOARD BOTH SIDES
- PAINT/WALL FINISH TO BUILDERS/OWNERS SPEC.

**5 FLOOR SYSTEM**

- 2x3/32" TONGUE AND GROOVE SUBFLOOR
- SCREWED AND GLUED
- ENGINEERED FLOOR TRUSSES
- WALL SHEATHING MEMBRANE
- 3/8" O.S.B. SHEATHING
- 2x6 KILN DRIED SPRUCE STUDS SPACED AT 16" O.C.
- R-20 BATT INSULATION
- 6 MII POLY VAPOUR BARRIER
- 1/2" INTERIOR GYPSUM BOARD
- PAINT/WALL FINISH TO BUILDERS/OWNERS SPEC.

**5A ALT. FLOOR SYSTEM**

- 2x3/32" TONGUE AND GROOVE SUBFLOOR
- SCREWED AND GLUED
- 6 MII POLY VAPOUR BARRIER
- ENGINEERED FLOOR TRUSSES (ALL BLOCKING/STRAPPING TO MANUF. SPEC)
- FASTEN RIM BOARD TO FOUNDATION AS PER MANUF. SPEC.
- R-20 BATT INSULATION
- 1/2" GYPSUM CEILING BOARD
- MUD, TAPE AND TEXTURE OR PAINT.

**6 TELEPOSTS**

- STEEL TELEPOST AS PER SUPPLIER'S SPEC.
- ON CONCRETE PAD AS PER FOUNDATION PLAN
- REINFORCED WITH 10M REBAR
- 8" O.C. EACH WAY
- NOTE: TELEPOST AND PAD SIZE TO BE COMPARED TO FLOOR MANUF. DRAWINGS, FLOOR MANUF. SPEC. FOR TELEPOST, PAD, AND REINFORCING DETAILS MUST TAKE PRECEDENCE OVER ARCHITECTURAL DRAWINGS.

**7 FOUNDATION WALLS AND FOOTINGS**

- 8" WIDE CONCRETE CORE I.C.F. WALL
- 24"x8" REINFORCED CONCRETE STRIP FOOTING
- ALL CONCRETE TO BE 20 MPA, TYPE 50 C/W 25mm AGGREGATE
- FOOTING TO BE PLACED ON UNDISTURBED SOIL NO LESS THAN 4'-0" BELOW GRADE
- PROVIDE DAMPPROOFING ON EXTERIOR SIDE OF FOUNDATION WALL
- OR ICF WALL THAT CONFORMS TO MANUF./ENGINEERED SPECS FOR WALL, FOOTING, CONCRETE, DAMPPROOFING

**8 GARAGE FLOOR**

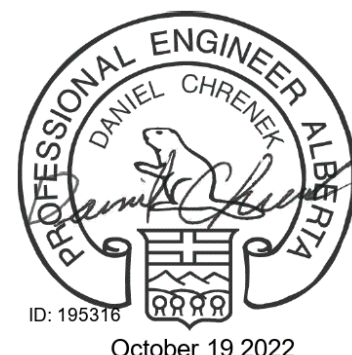
- 4" THICK CONCRETE SLAB REINFORCED WITH 10M STEEL REBAR AT 16" O.C. EACH WAY ON 8" COMPACTED GRAVEL
- C/W 6 MII POLY VAPOUR BARRIER
- ENGINEERED FLOOR TRUSSES
- (ALL BLOCKING/STRAPPING TO MANUF. SPEC)
- FASTEN RIM BOARD TO FOUNDATION AS PER MANUF. SPEC.
- R-20 BATT INSULATION
- 1/2" GYPSUM CEILING BOARD
- 10M STEEL REBAR ANCHORS TO FOUNDATION WALL AT 16" O.C.

**9 SEPARATION WALLS**

- 1/2" GYPSUM BOARD DIRECTLY SEPARATING THE GARAGE FROM ALL HABITABLE SPACE
- TAPE AND SEAL ALL JOINTS
- R-20 BATT INSULATION
- C/W 6 MII POLY VAPOUR BARRIER
- R-30 BLOWN IN INSULATION FOR ALL CEILINGS C/W 6 MII POLY VAPOUR BARRIER
- NOTE: WHERE GARAGE SPACE MEETS HOUSE SPACE VAPOUR BARRIER IS TO BE LOCATED TO THE INSIDE (HOUSE SIDE) OF ANY INSULATION, INCLUDING CEILING SPACES BELOW LIVING AREAS.

**10 PILES**

- SIZE AS PER FOUNDATION PLAN
- REINFORCE WITH 3-5M STEEL REBAR VERTICALLY
- PROVIDE LEVEL TROUFL FINISHED CAP FOR FRAMING PURPOSES
- OR STEEL SCREW PILES AS PER FOUNDATION PLAN



PERMIT TO PRACTICE  
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The Association of Professional Engineers and Geoscientists of Alberta (APEGA)

SHEET #:	<b>A6</b>
DISCLAIMER:	WHILE RC DRAFTING AND DESIGN SERVICES MAKES EVERY EFFORT TO PROVIDE ACCURATE DRAWINGS, IT IS THE RESPONSIBILITY OF THE HOME OWNER/CONTRACTOR TO CHECK ALL DIMENSIONS AND COMPLIANCE TO LOCAL AND NATIONAL BUILDING CODES.
REVISIONS:	
SQUARE FOOTAGE:	MECH./ENTRY: 130 SQ. FT. UPPER FLOOR: 1,409 SQ. FT. TOTAL: 1,539 SQ. FT. GARAGE: 1,370 SQ. FT. COV. STOR.: 800 SQ. FT. COV. ENTRY: 99 SQ. FT.
PROJECT: MOORE GARAGE	
DRAWING: BUILDING SECTIONS	
CONTRACTOR:	
REFERENCE #:	D22066
DRAWN BY:	R.C.N.D.
DATE:	10/19/2022

**RC DRAFTING** & design services

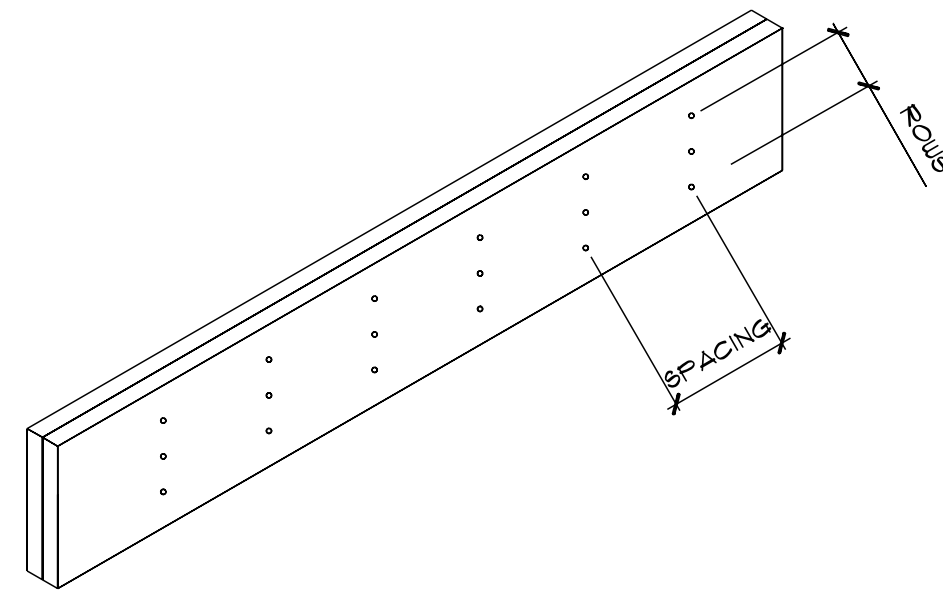
CELL: (780) 228-5931, E-MAIL: RUSSELLC@RCDRAFTING.NET

**WOOD FRAMING NOTES**

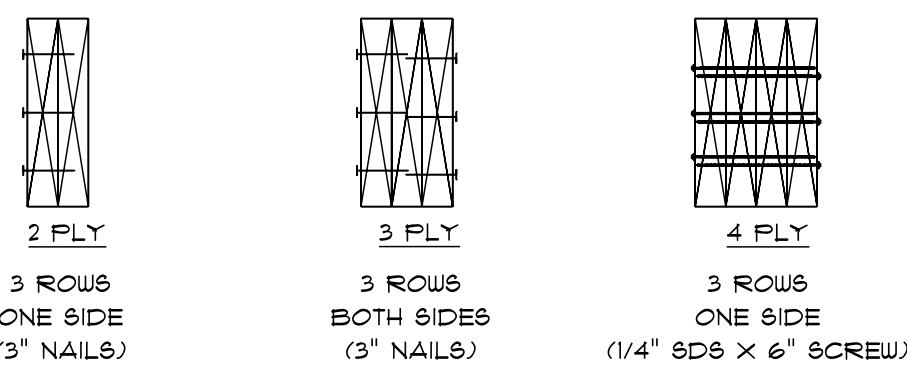
- ALL SAUN LUMBER SHALL COMPLY WITH CAN/CSA-086-01. ALL LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY. SAUN LUMBER SHALL BE S.P.F. No.1 OR No.2 MIN. (U.N.O.)
- BOTTOM PLATES (SOLE PLATES) RESTING ON CONCRETE OR MASONRY SHALL BE TREATED.
- DO NOT NOTCH OR DRILL JOISTS OR BEAMS U.N.O. ON PLAN OR G.S.N. WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER. DOUBLE UP FLOOR JOISTS AND BLOCKING UNDER WALLS THAT RUN PARALLEL TO THE JOISTS. PROVIDE 2" (NOMINAL) SOLID BLOCKING BETWEEN JOISTS AT SUPPORTS.
- ALL WOOD CONSTRUCTION CONNECTORS SHOWN ON PLANS OR DETAILS SHALL BE SIMPSON STRONG-TIE OR EQUAL U.N.O. HARDWARE SHALL BE INSTALLED WITH ALL REQUIRED FASTENERS PER MANUFACTURER'S SPECIFICATIONS FOR MAX. LOADING. HARDWARE BY OTHER MANUFACTURER'S MAY BE SUBSTITUTED PROVIDED THEY ARE OF EQUIVALENT CAPACITY FOR THE INTENDED APPLICATION. HARDWARE SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER.
- LUMBER SHALL BE IN DRY CONDITION AND THE MOISTURE CONTENT SHALL NOT EXCEED 19%.

**KEYNOTES**

- 2x8 @ 12" O/C WALL STUDS WITH 3/8" THICK PLYWOOD O.S.B. PER SHEARWALL SCHEDULE. FASTEN WALL SHEATHING PER SHEARWALL SCHEDULE.
- CONTINUOUS DOUBLE TOP PLATE.
- PROVIDE SIMPSON (1) A35 CLIP ON EACH END OF ALL HEADERS, TOP AND BOTTOM, TYPICAL.
- FASTEN P/T 2x8 BOTTOM PLATE TO CONCRETE WITH 5/8" DIA. HILTI KWIK BOLTS SPACED AT 2'-0" O/C MAXIMUM WITH 4" MIN. EMBEDMENT INTO CONCRETE.
- PROVIDE SIMPSON HD05 HOLDOWN WITH 5/8" DIA. HILTI-HITROD WITH HY200 EPOXY, EMBEDDED 4" MIN. INTO CONCRETE. (2) 2x8 END STUDS
- 2x SOLID BLOCKING AT PLYWOOD EDGES, TYPICAL.
- PROVIDE MIN. 2 PLY - 2x8 END STUDS.
- REFER TO HDR AND GANG STUD SCHEDULE FOR NUMBER OF KING STUDS, SIZE, AND ATTACHMENT DETAIL.
- REFER TO HDR AND GANG STUD SCHEDULE FOR NUMBER OF TRIMMER STUDS, SIZE, AND ATTACHMENT DETAIL.



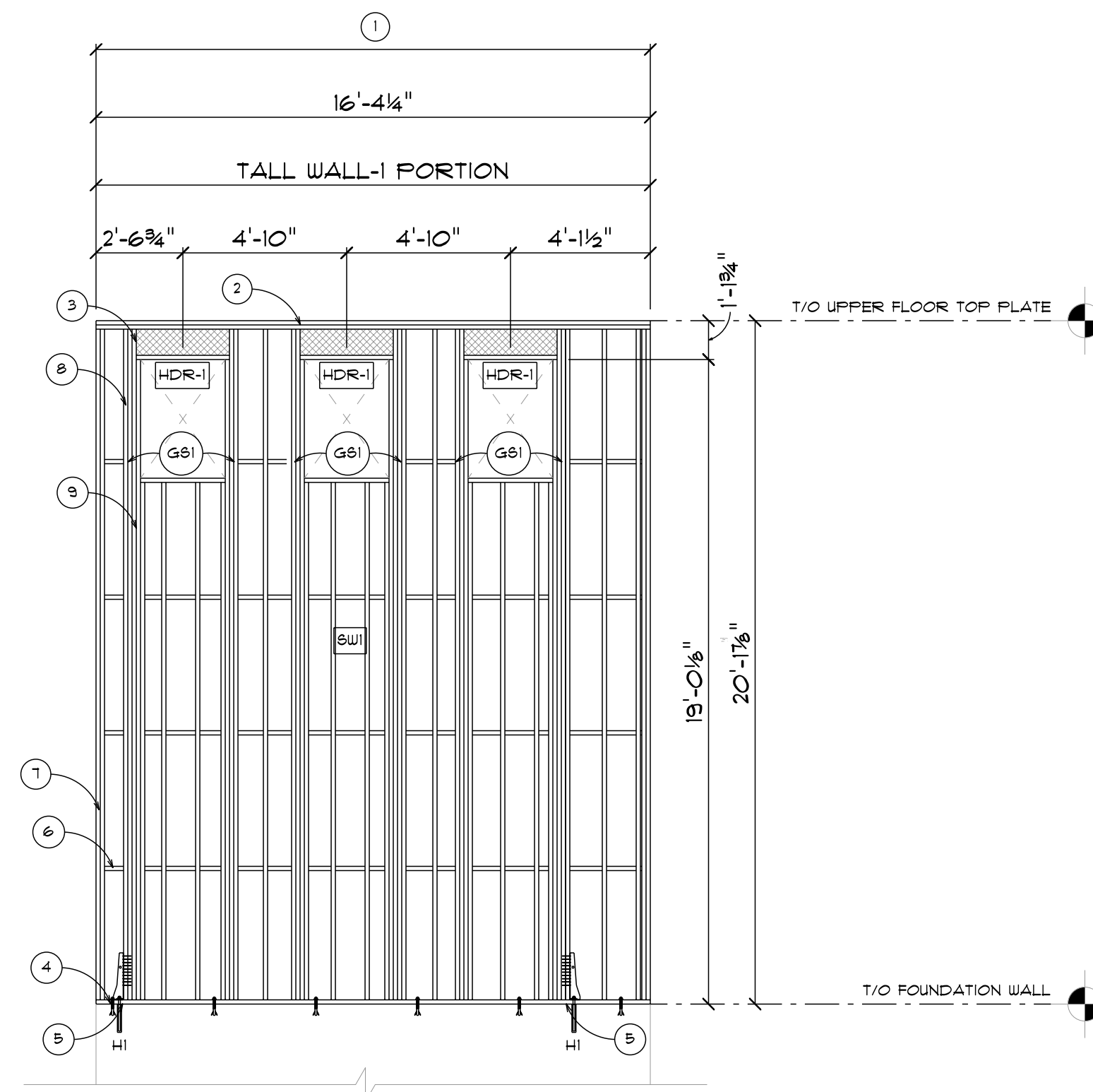
**BEAM PERSPECTIVE VIEW**



NO. OF PLYS	NAILING PATTERN
2	3 ROWS OF 3" NAILS @ 12" O.C., ONE SIDE
3	3 ROWS OF 3" NAILS @ 12" O.C., BOTH SIDES
4	3 ROWS OF 1/4" SCS X 6" SCREW @ 24" O.C., BOTH SIDES

NOTE:  
FOR BEAMS WITH DEPTH LARGER THAN 12", PROVIDE 4 ROWS OF FASTENER INSTEAD OF THE 3 ROWS SHOWN ABOVE

**1 BUILT-UP MEMBER CONNECTION DETAIL**  
NO SCALE



**TALL WALL-1 FRAMING ELEVATION:**  
1/4" TO 1'-0" SCALE

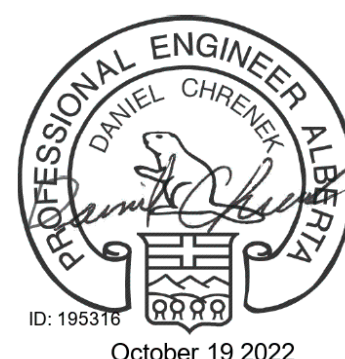
HOLDOWN SCHEDULE			
MARK	HOLDOWN	MIN. END STUDS	ANCHOR/EMBEDMENT
HI	HD05	2 - 2x8	5/8" DIA. HILTI-HIT ROD W/ HY200 EPOXY, EMBEDDED 4" MIN. INTO CONCRETE

(SW) SHEARWALL SCHEDULE						
MARK	SHEATHING MATERIAL	EDGE NAILING	MIN. BOTTOM PLATE	BOT. PLATE ATTACHMENT TO WOOD	BOT. PLATE ATTACHMENT TO CONCRETE	CAPACITY (FACTORED)
SW1	1/2" PLYWOOD/O5B ONE SIDE 3/8" PLYWOOD/O5B ONE SIDE	2-1/2" 8D NAILS AT 6" O/C TYPICAL SCREWS @ 8" O/C	1 PLY - 2x8	3-1/2" 16d NAILS @ 6" O/C	5/8" DIA. HILTI KWIK BOLTS AT 24" O/C 4" MIN. EMBEDMENT TO CONC.	5.68 kN/m (389 PLF)

NOTE:  
1. ALL SHEARWALLS ARE TO BE BLOCKED.  
2. PANEL INTERIOR NAILING SHALL BE 3" NAILS AT 12" O.C.  
3. SHEATH ALL EXTERIOR FACE OF BUILDING WITH SHEARWALL TYPE 1 UNLESS NOTED OTHERWISE ON PLANS.

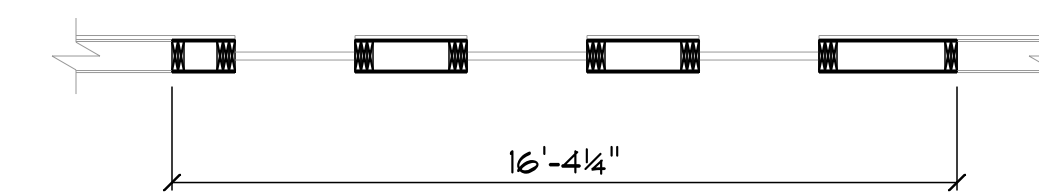
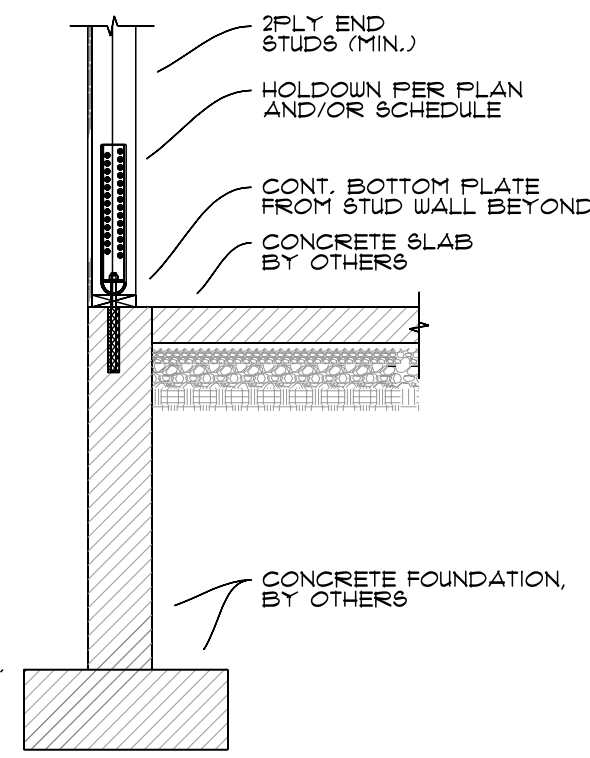
**GENERAL STRUCTURAL NOTES**

- TYPICAL DETAILS AND NOTES SHALL APPLY, THOUGH NOT NECESSARILY INDICATED AT A SPECIFIC LOCATION ON PLANS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.



PERMIT TO PRACTICE  
DESIGN WORKS ENGINEERING LTD.  
RM Signature: *Daniel Chrenka*  
RM APEGA ID#: 195316  
Date: October 19 2022  
PERMIT NUMBER: 12823  
The Association of Professional Engineers and Geoscientists of Alberta (APEGA)

**2 TYPICAL HOLDOWN ANCHORAGE DETAIL**  
NO SCALE



**TALL WALL-1 LAYOUT:**  
1/4" TO 1'-0" SCALE

(HDR) HEADER SCHEDULE			
MARK	HEADER SIZE	NO. OF PLYS	REMARKS
HDR-1	2x10	2	S.P.F. No.1/No.2 BUILT UP

NOTE:  
1. PROVIDE 2 PLY - 2x10 FOR ALL HEADERS NOT IDENTIFIED ON PLANS, U.N.O.  
2. FOR HEADER SUPPORTED BY COLUMN/POST, USE SIMPSON FACE-MOUNT HU HANGER OR APPROVED EQUAL.  
3. PROVIDE SIMPSON (1) A35 CLIP ON EACH END OF ALL HEADER, TOP & BOTTOM, (TYPICAL)

GANG STUD SCHEDULE					
MARK	STUD SIZE	TOTAL NO. OF PLYS	NO. OF TRIMMER STUDS	NO. OF KING STUDS	REMARKS
G01	2x8	2	1	2	S.P.F. No.1/No.2 BUILT UP

NOTE:  
1. CLIP EACH END OF KING STUD TO TOP PLATE AND BOTTOM PLATE W/ SIMPSON LB50 (SKEWED AS REQUIRED).  
2. FASTEN TRIMMER STUDS TO KING STUDS WITH TYPICAL MULTIPLE STUDS ATTACHMENT.

SHEET #:  
**S1**

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PROJECT: MOORE GARAGE

DRAWING: TALL WALL FRAMING AND DETAILS

CONTRACTOR:

REFERENCE #: D22066

DRAWN BY: R.C.N.D.

DATE: 10/19/2022

**RC DRAFTING**  
& design services

CELL: (780) 228-5931, E-MAIL: RUSSELLC@RCDRAFTING.NET



**AGRICULTURAL REGIONS OF ALBERTA SOIL INVENTORY DATABASE (AGRASID)  
LAND SUITABILITY RATING SYSTEM (LSRS)**

**FILE NO. D23-070**

**LEGAL LOCATION: SW 12-72-1-W6M**

**(Plan 072 5943, Block 1, Lot 9)**

**APPLICANT: ALEXANDER MOORE**

**LANDOWNER: ALEXANDER MOORE AND TANYA LATIMER**



**Spring Grain Growth Limitations**

**2(8) - 6W(2) : Slight to Extremely Severe limitation**

**TOPOGRAPHY**

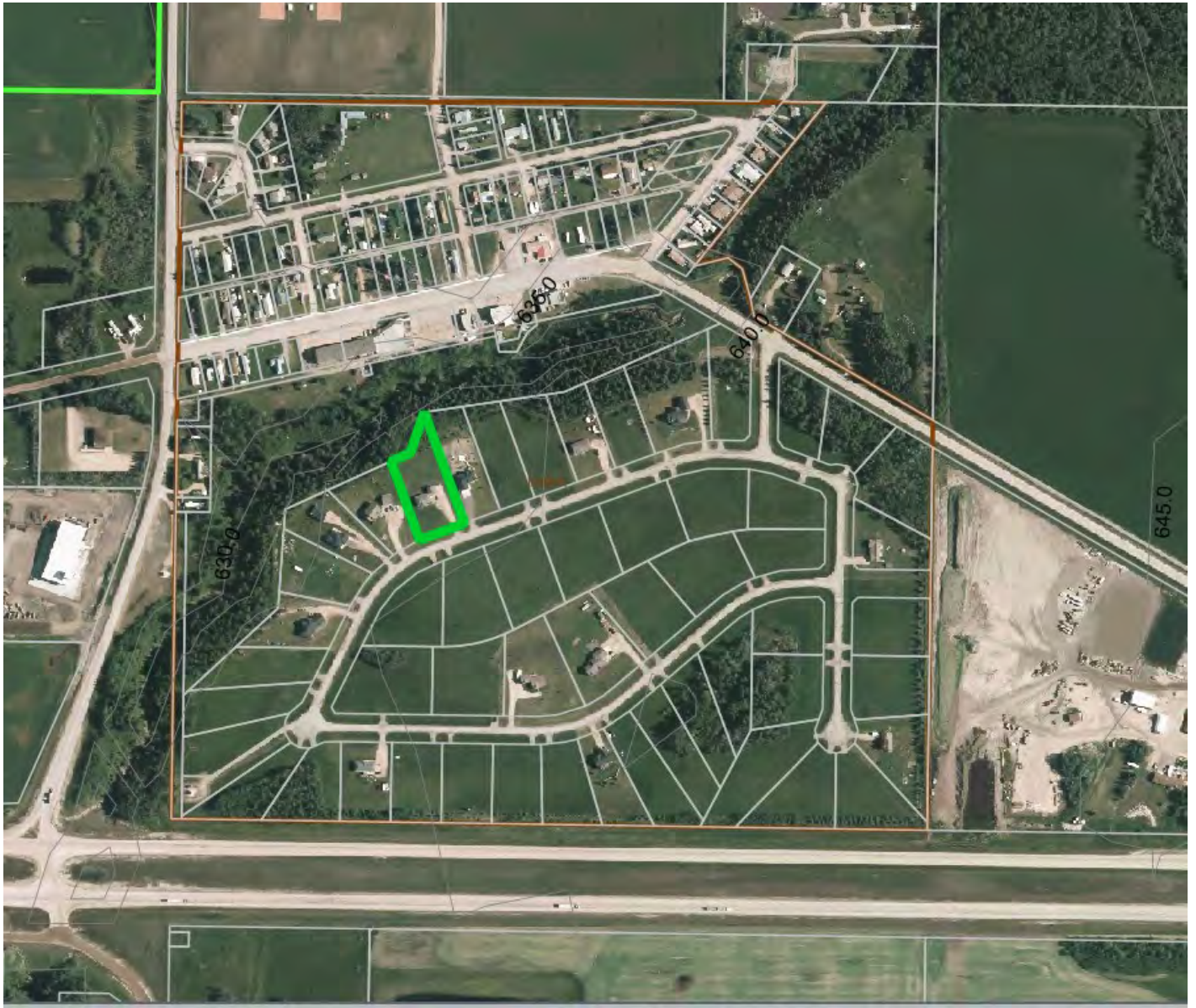
**FILE NO. D23-070**

**LEGAL LOCATION: SE 14-75-24-W5M**

**SHORT LEGAL: LOT 9, BLOCK 9, PLAN 0725943**

**APPLICANT: ALEXANDER MOORE**

**LANDOWNER: ALEXANDER MOORE AND TANYA LATIMER**



**WETLAND INVENTORY**

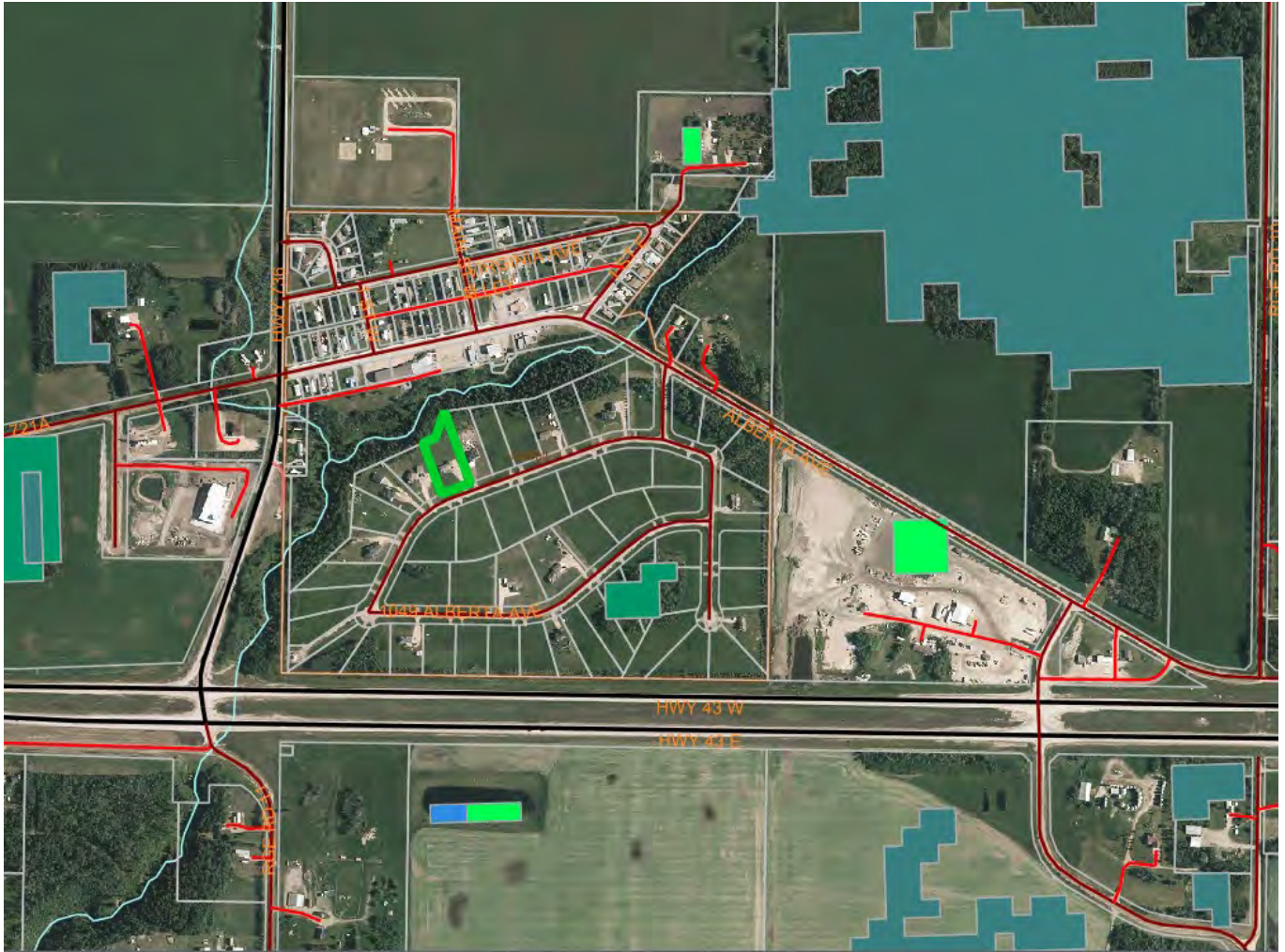
**FILE NO. D23-070**

**LEGAL LOCATION: SE 14-75-24-W5M**

**APPLICANT: ALEXANDER MOORE**

**SHORT LEGAL: LOT 9, BLOCK 9, PLAN 0725943**

**LANDOWNER: ALEXANDER MOORE AND TANYA LATIMER**

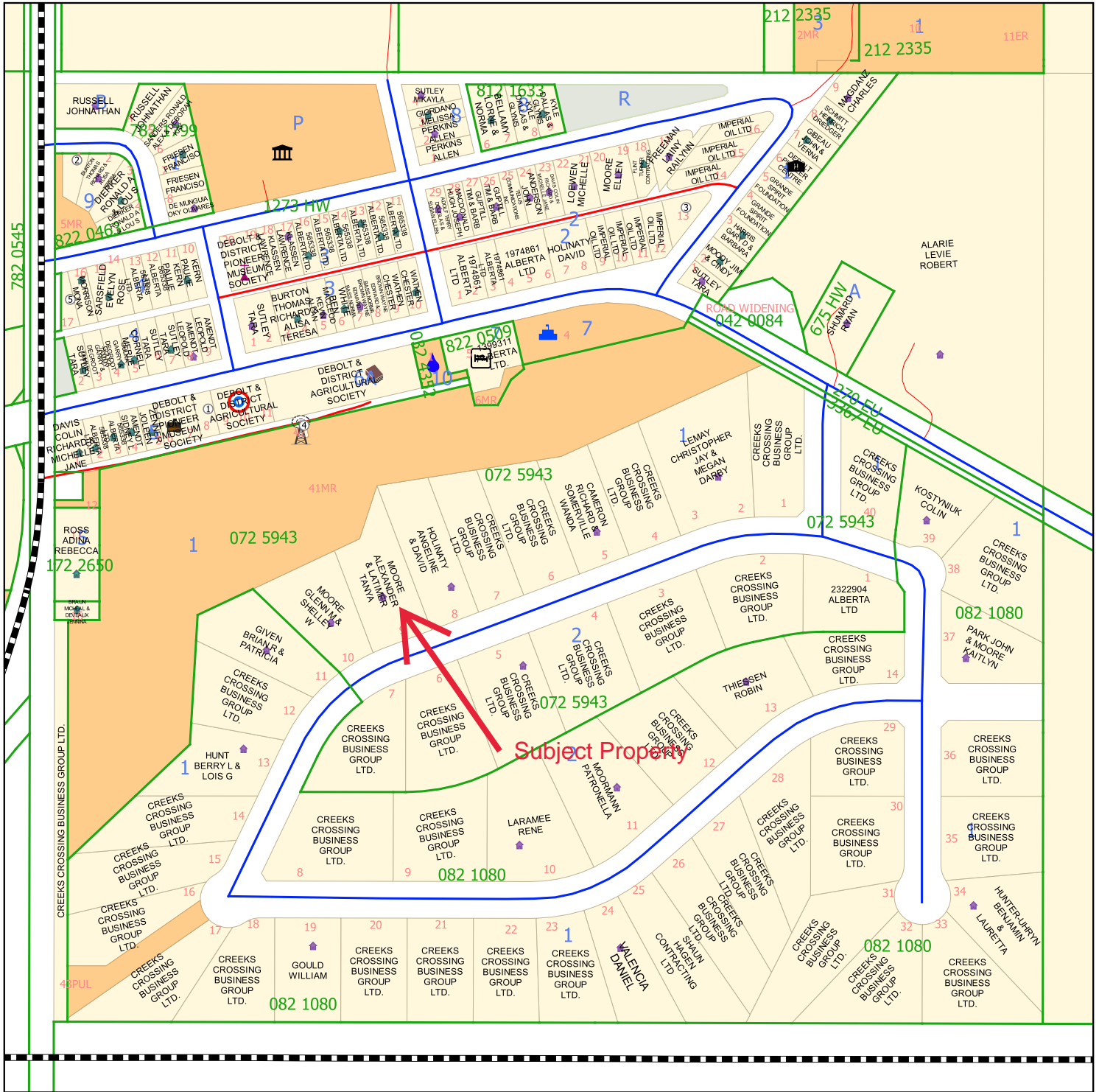


- |  |   |   |
|--|---|---|
|  Bog        |  Fen   |  Marsh |
|  Open Water |  Swamp |   |



# DeBolt

Pt-SE-11-72-1-W6 &  
SW-12-72-1-W6



Map printed: 2021-12-30

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Compiled from the Rural Cadastral Digital Base November 15, 2021, 1:20,000 Digital Base. Land Ownership compiled from municipal tax data, November 15, 2021. Building/Site/Feature information compiled from municipal assessment data, December 2020.

### Ref. Owner

- 1 DEBOLT & DISTRICT PIONEER MUSEUM SOCIETY
- 2 BURTON THOMAS RICHARD & ALISA TERESA
- 3 IMPERIAL OIL LTD
- 4 I WANT WIRELESS.CA LTD.
- 5 MORRISON MONA

### Ref. Owner



## REQUEST FOR DECISION

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**SUBJECT:** D23-073 Little Buddy's Rentals - Discretionary Use – Home Occupation, Major in “A-1”

**SUBMISSION TO:** MUNICIPAL PLANNING COMMISSION      REVIEWED AND APPROVED FOR SUBMISSION

**MEETING DATE:** June 14, 2023      **DIRECTOR:** MAV      **PRESENTER:** AB

**REPORT TYPE:** Development Permit      **MANAGER:** SD      **WRITER:** AB

---

**FILE NO.:** D23-073      **LAND USE DISTRICT:** A – 1 Agricultural One

**LEGAL LOCATION:** SE-08-070-06-W6M

**AREA:** Grovedale

**APPLICANT/SURVEYOR:** Dwight & Shalon Steenhart (Little Buddy's Rentals)

**LANDOWNER:** Dwight & Shalon Steenhart

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### BACKGROUND/PROPOSAL:

This application was received in May 2023, Administration determined that the most encompassing use for the proposed development was a Home Occupation, Major. The determination was based on the fact that this business intends to have outdoor storage of ATV's (quads), UTV's (side by sides), Snowmobile's, and trailers to rent to the public, and more than two employees.

As indicated in Greenview's Land Use Bylaw 18-800, Home Occupation, Major is listed as a discretionary use in the A – 1 district and is differentiated from a Home Occupation, Minor, by including the use of outside storage, up to five (5) full time employees, a minimum parcel size, allowing the business to operate from the dwelling and an accessory building, and the display of finished products. Outdoor storage shall not exceed 10% of the parcel size or 1.0 ha (2.5 ac) whichever is less. Further, any outdoor storage associated with the home occupation must be adequately screened from neighbouring parcels and highways. The applicant has indicated that their rental units are adequately screened to not be visible from the roadway by passing motorists. The business office will be operated within the existing accessory building, shop, on the property. The business intends to operate from 7:00am to 8:00pm, employ four (4) residential employees, and generate approximately 1-2 vehicles per day, which aligns with current Land Use Bylaw regulations.

A referral notification was sent to Alberta Transportation due to the parcel being located 233m +/- from the Highway 666 right of way. Alberta Transportation advised that Transportation and Economic Corridors do not have concerns with the proposed development and a permit will not be required from the department. A referral notification was sent to Greenview Operations, and no concerns were received.

---

### PROPERTY DETAILS:

Soil Type: Gleyed Gray Luvisol – Silty or Sandy Clay

Topography: U1h – Undulating – High Relief

Wetland Inventory: 27 ha. total wetland on the quarter, 26 ha. C value (moderately low), 1 ha. B value (moderate). There is a large Fen and Bog area(s) located on the adjacent Southwest quarter.

LSRS Spring Grains: 3(7) – 5W(3) - 70% of the area is Class 3, land in this class has moderate limitations that restrict the growth of the specified crops or require modified management practices. 30% of the area is Class 5 indicating the land has very severe limitations for sustained production of specified crops. Annual cultivation using common cropping practices is not recommended. Further, very severe drainage indicating soils in which excess water (not due to inundation) limits the production.

---

**RELEVANT LEGISLATION AND POLICY CONSIDERATIONS:**

**Municipal Development Plan**

*Section 6.5 Home – Based Business*

*Greenview supports and encourages the continued development of home - based businesses provided that:*

- (a) The scale of the proposed business is appropriate for the character of the neighbourhood;*
- (b) It is compatible with the uses in the area where it is located;*
- (c) There is, in the opinion of Greenview, negligible impact on the environment, water, municipal infrastructure or neighbouring properties;*
- (d) It is clearly secondary in nature to the residential or agricultural use of the property; and*
- (e) In the case of small-scale industrial pursuits as defined in the LUB and other similar industrial uses, that the proposed development site is rezoned to the applicable land use district.*

*The establishment of home - based businesses shall only be supported if they do not negatively impact adjacent land uses. If Greenview determines that, in its opinion a home- based business has exceeded the capacity of the site and/or is determined to have a detrimental impact on the neighbourhood or adjacent properties, measures shall be undertaken to direct the home business use to relocate on appropriately zoned commercial or industrial lands.*

The proposed use may be supported by Greenview’s MDP as it is secondary in nature to the residential use of the property, does not have a negligible impact on the environment, and does not negatively impact the adjacent land or neighbouring properties.

**Grovedale Area Structure Plan**

*Section 4.5 Commerce & Industry*

*Agriculture*

*Agricultural activities have played a strong role in the history of the plan area and have historically contributed to the local economy and the livelihood of residents. Through the preservation of agricultural lands and the diversification of agricultural activities, the agricultural sector will continue to be a strong presence in the community and the plan area and will continue to play an ever-important role in the expanding local economy.*

*Policy*

*7. Support the creation of a home-based business that are small in scale and do not have a detrimental impact on surrounding lands.*

The proposed use may be supported by the Grovedale Area Structure Plan as it is small in scale and does not have a detrimental impact on the surrounding lands.

**Land Use Bylaw 18-800**

*Section 8.1 – Agricultural One District*

*The use Home Occupation, Major is a discretionary use and must be approved through the Municipal Planning Commission.*

*Section 5.25.1 – Home Occupations*

*Where permitted within a District, home occupations (minor and major) must comply with the following regulations:*

- (a) Home occupations must be clearly incidental and secondary to the use of the dwelling unit for residential purposes;*
- (b) Must not produce extensive noise between the hours of 10 p.m. and 7 a.m. in any Residential District;*
- (c) No offensive noise, vibration, smoke, dust, odour, heat, glare, electrical or radio disturbance detectable beyond the property boundary shall be produced by the business, at all times, the privacy and enjoyment of adjacent residences and land shall be preserved and the amenities of the neighbourhood preserved;*
- (d) Must not impact the privacy and enjoyment of adjacent residences;*
- (e) Lighting shall be designed, installed, and operated in such a manner so as not to cause a disturbance to adjacent lands and/or interfere with the safe movement of traffic on nearby roads.*

*5.25.3 Where permitted within a District, Home Occupations (Major) must comply with the following regulations:*

- (a) Must only be conducted within the principal dwelling unit and within up to one accessory building;*
- (b) Outside storage shall not exceed 10% of the parcel size or 1.0 ha (2.5 ac) whichever is less.*
- (c) Finished display products shall be located in a specified area as determined by the Development Authority.*
- (d) Any outdoor storage associated with the home occupation shall be adequately screened from neighbouring parcels and highways;*
- (e) Must have a minimum parcel size of 1.2 ha (3.0 ac), and*
- (f) Shall not result in traffic that exceeds the equivalent of five (5) full-time employees and eight (8) customers per day;*
- (g) A Home Occupation, Major shall not include:
  - i. Wrecking yards; and/or,*
  - ii. Sand and gravel processing.**

The use of Home Occupation, Major encompasses the proposed development by allowing the applicant to operate with the standard conditions listed in Greenview's Land Use Bylaw. MPC may include additional conditions such as additional screening to further mitigate off site impacts, however any disturbance or negative impact to adjacent land or neighbouring parcels is not expected. The recommended conditions of approval are standard for Home Occupation, Major developments, including the hours of operation, drainage, employees, maximum area for outdoor storage, and screening of outdoor storage from neighbouring parcels and highways.

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**RECOMMENDED ACTION:**

**MOTION: That the Municipal Planning Commission APPROVE Development Permit application D23-073 for Dwight and Sharon Steenhardt, for a Home Occupation, Major on SE-08-070-06-W6M subject to the following conditions:**

- 1. Issuance of this development permit is for the Home Occupation, Major - Rental business as described in the submitted application, with a maximum of five (5) employees.**
- 2. The major home occupation shall be limited to eight (8) customers per day.**

3. The major home occupation shall not occupy more than 0.282 ha for outside storage. Any outdoor storage associated with the home occupation shall be adequately screened from neighbouring parcels and highways.
4. The major home occupation shall solely be operated within the principal dwelling unit and within one accessory building.

**Standards:**

1. The major home occupation must not produce extensive noise between the hours of 10 p.m. and 7 a.m.
2. The sign shall be maintained in proper state of repair.
3. Finished display products shall only be located in an area as specified on the approved plan.
4. No storage or activity may be undertaken that would in the opinion of the Development Authority unduly interfere with the amenities of the district or materially interfere with or affect the use, enjoyment, or value of neighboring properties, by reason of excessive noise, smoke, steam, odor, glare, dust, vibration, refuse matter, or other noxious emissions or containment of hazardous materials.
5. The applicant is responsible for weed control. Contact Greenview's Agricultural Fieldman at 780.524.7602 for further information.

**Notes:**

1. This permit indicates that only the development to which it relates is authorized pursuant to the provisions of the Land Use Bylaw. Compliance with the provisions of Land Use Bylaw 18-800 does not exempt the applicant from compliance with any provincial, federal, or other municipal legislation.
2. All development must conform to the conditions of this development permit and the approved plans, and any revisions as required pursuant to this approval. Any subsequent changes, amendments or additions to this development permit shall require a new development permit application, including but not limited to, an expansion or intensification of the use.
3. Any permit issued for home occupations may be revoked at any time if, in the opinion of the development authority, the home occupation is, or has become, detrimental to the amenities of the neighbourhood.
4. All development(s) must be designed to ensure the stormwater runoff to adjacent lands or watercourses does not exceed pre-development flows.
5. Development(s) shall not adversely affect groundwater resources or disturb natural drainage patterns or watercourses unless such measures are necessary to serve a proposed development and receive approval from Alberta Forestry, Parks, and Tourism.
6. Deleterious materials must not be allowed to enter any watercourse.
7. Any future expansion of the business, site area, or additional employees will require the applicant to apply for a new development permit and will require approval.



8. **No additional signage related to the business is permitted unless prior approval is received from Greenview.**
9. **You are located in the vicinity of an agricultural operation.**

---

**ALTERNATIVES:**

**Alternative #1:** The Municipal Planning Commission may refuse the application; however, Administration does not recommend this option as the proposal complies requirements of the Land Use Bylaw, Area Structure Plan, and Municipal Development Plan.

**Alternative #2:** The Municipal Planning Commission may table the application to the next regular meeting or until additional information is received.

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**FINANCIAL IMPLICATION:**

All costs associated with the application will be borne by the applicant.

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**STAFFING IMPLICATION:**

There are no staffing implications to the recommended motion.

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**PUBLIC ENGAGEMENT LEVEL:**

Greenview has adopted the IAP2 Framework for public consultation.

The Municipal Government Act requires that applications for discretionary use development permits be circulated for a minimum of 21 days following issuance of the decision.

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**FOLLOW UP ACTIONS:**

No follow up action is required by the Municipal Planning Commission. Following the decision, the applicant and adjacent landowners will be notified of the decision. This decision will be advertised on Greenview's website and social media for two weeks.

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**ATTACHMENTS:**

- Development Permit Application
- Proposed Site Plan
- Cover Letter provided by Applicant
- Site Layout Drawing
- AGRISID Rating Map
- Wetland Inventory Map
- Topography Map
- Owner Location Map



## APPLICATION FOR DEVELOPMENT PERMIT

Municipal District of Greenview No. 16

4806 – 36 Avenue, Box 1079, Valleyview AB T0H 3N0

T 780.524.7600 F 780.524.4307 Toll Free 1.866.524.7608

[www.mdgreenview.ab.ca](http://www.mdgreenview.ab.ca)

I / We understand that this application will only be processed if submitted in complete form and accompanied by the applicable fee. A completed application includes the forms completely filled out, signatures, plot plan, fees and any other information the development authority deems necessary to make an informed decision.

### Applicant Information

Name of Applicant(s): Shalon and Dwight Steenhart

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_

Postal Code: \_\_\_\_\_

Primary Phone: \_\_\_\_\_

Other Phone: \_\_\_\_\_

Email: \_\_\_\_\_

*(By providing email address you authorize Planning and Development Services to contact you via email)*

*(Complete if different from applicant)*

Registered Landowner(s) or Leaseholder(s) \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_

Postal Code: \_\_\_\_\_

Primary Phone: \_\_\_\_\_

Other Phone: \_\_\_\_\_

Email: \_\_\_\_\_

*(By providing email address you authorize Planning and Development Services to contact you via email)*

### Land Information

Legal description of proposed development site: LSD/QTR. SE SEC. 8 TWP. 70 RGE. 6 M. W6

Registered plan: \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ MLL/MSL/LEASE NO.: \_\_\_\_\_

Property size: Hectares: \_\_\_\_\_ Acres: 6.97 Description of the existing use of the land: House, garage, shop and shed

The land is adjacent to:  Highway \_\_\_\_\_  District Road 701A  LOC# \_\_\_\_\_

How is the site to be accessed?  Existing approach  Proposed approach *(please fill out and submit an approach application)*

Do you have a rural address?  Yes Address: 6419 TWP RD 701A  No

#### FOR ADMINISTRATIVE USE

PERMITTED USE

VARIANCE

DISCRETIONARY USE

PROHIBITED USE

ROLL NO.:

APPLICATION NO.:

FEES:

DATE PAID: MAY 4, 2023

RECEIPT NO.: 374778

DEEMED COMPLETE:

LAND USE DISTRICT:

PROPOSED USE:

COMMENTS:



## APPLICATION FOR DEVELOPMENT PERMIT

Municipal District of Greenview No. 16

4806 – 36 Avenue, Box 1079, Valleyview AB T0H 3N0

T 780.524.7600 F 780.524.4307 Toll Free 1.866.524.7608

[www.mdgreenview.ab.ca](http://www.mdgreenview.ab.ca)

### Development Information

Describe your proposed development: *(if additional space is required please attach sheet)*

Major occupation. Rentals consist of ATV's (quads), UTV's (side by sides), snowmobiles and trailers. We offer for commercial and recreational customers. **\*\*The buildings that are being used are already existing\*\***

Size of the proposed development:

Length  metres  feet 60  
 Width  metres  feet 40  
 Building height  metres  feet

Accessory building:  Attached  Detached  
 (if applicable) Total Floor area  Sq. metres  Sq. feet 2400  
 Height  Metres  Feet

Secondary suite information:  Attached  Detached  
 (if applicable)  Existing suite  New suite

Total floor area of primary residence:  Sq. metres  Sq. feet 1800

Indicate the proposed setback from the property line:

Front yard  metres  feet 163  
 Rear yard  metres  feet 347  
 Side yard (1)  metres  feet 220  
 Side Yard (2)  metres  feet 255

Does this development require a variance?

Yes, explain \_\_\_\_\_  No *(If yes, please submit a Variance Request Form)*

Construction Start Date: March 15, 2023 End Date: \_\_\_\_\_ Completed Project Cost: \$ 2000

Has the development commenced?  Yes  No

#### Manufactured Home

Manufacturer: \_\_\_\_\_ Model: \_\_\_\_\_ Year: \_\_\_\_\_

#### Sewage System

Type of sewage system: \_\_\_\_\_

### Abandoned Well Information

**ALL** development permit applications require a printout of a map from [Alberta Energy Regulator](http://www.aer.ca) (AER, previously known as ERCB). This can be obtained via website, phone, email, fax or mail.

Is there an abandoned well or pipeline on the property?  Yes  No *(printout must still be provided)*  
 Licensee name: \_\_\_\_\_

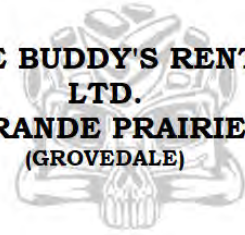
*If you require any assistance or do not have access to the internet please contact AER at 1.855.297.8311*

*The location of all abandoned oil and gas well sites as well as the setback distances in relation to existing or proposed building sites must be shown on all applications. Please note: The Development Authority cannot approve a development application if the lot(s) do(es) not comply with the setback directed by the ERCB Directive 079. Abandoned well site information must be provided by the applicant and can be obtained by contacting Alberta Energy Regulator.*





**LITTLE BUDDY'S RENTALS  
LTD.  
GRANDE PRAIRIE  
(GROVEDALE)**



Good day,

Little Buddy's Rentals is a family owned and operated business. We have been in operations since 2014, in Woodlands County.

Our customers are both commercial and recreational.

Therefore, it benefits the oilfield, forestry, and the community.

Our times of operation are from 7am-8pm.

We just wanted to let you know that we are not planning to add any other buildings. We will be using the buildings that are already on the property.

The trailers are parked neatly along side the driveway by the shop. All the other equipment is parked inside the shop or the garage, none of it is parked out front where it could be seen by the public.

Thank you,

Shalon

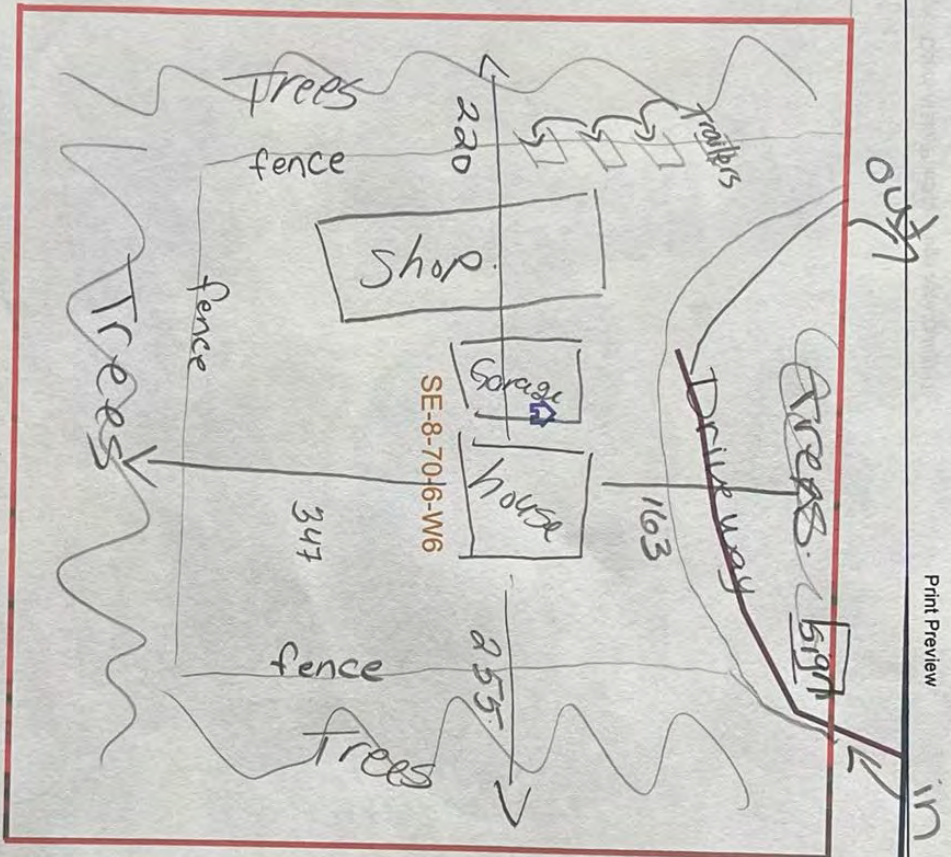
Little Buddy's Ltd.



TWP RD 701A

All machines will be stored in the garage or shop so that they are not out in the open.

There is an office in the shop. So that is the only place customers can go into.



Scale 1:1,283



100 yd



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Date Created: 5-31-2023

MD of Greenview

MD of Greenview

**AGRICULTURAL REGIONS OF ALBERTA SOIL INVENTORY DATABASE (AGRASID)  
LAND SUITABILITY RATING SYSTEM (LSRS)**

**FILE NO. D23-073**

**APPLICANT: DWIGHT & SHALON STEENHART**

**LEGAL LOCATION: SE-08-070-06-W6M**

**LANDOWNER: DWIGHT & SHALON STEENHART**



**Spring Grain Growth Limitations**

**3(7) – 5W(3) - 70% of the area is Class 3, the land has moderate limitations restricting growth of specified crops/require modified management practices. 30% of the area is Class 5, the land has very severe limitations for sustained production of specified crops. Annual cultivation using common cropping practices is not recommended. Further, very severe drainage indicating soils in which excess water (not due to inundation) limits the production.**

**7WB(10) – 100% of the area is Class 7, the land has soils in which excess water (not due to inundation) limits the production and organic soils in which the degree of composition of the organic material is not optimum for production.**

**SITE TOPOGRAPHY**

**FILE NO. D23-073**

**APPLICANT: DWIGHT & SHALON STEENHART**

**LEGAL LOCATION: SW-08-070-06-W6M**

**LANDOWNER: DWIGHT & SHALON STEENHART**





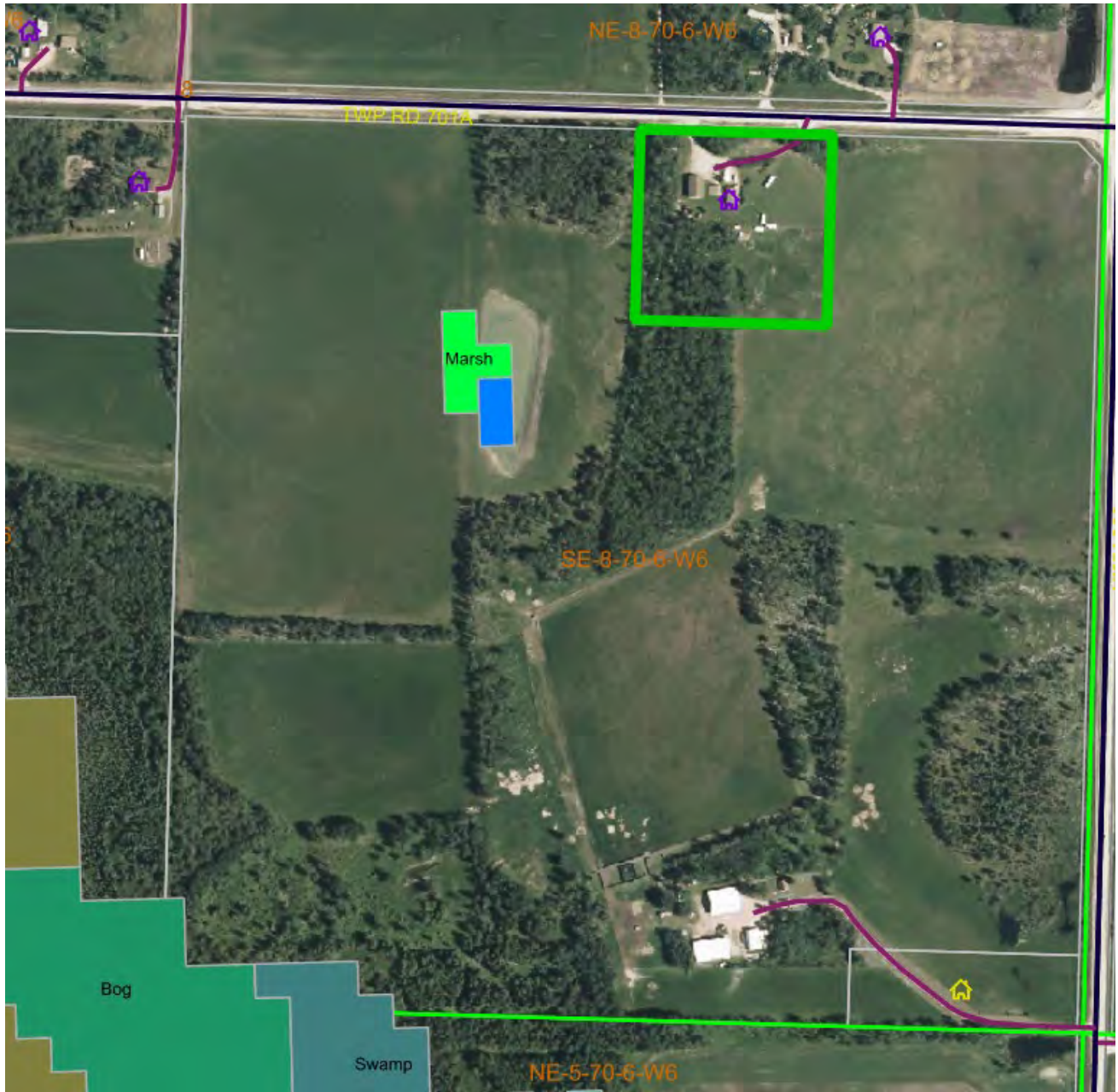
**WETLAND INVENTORY**

**FILE NO. D23-073**

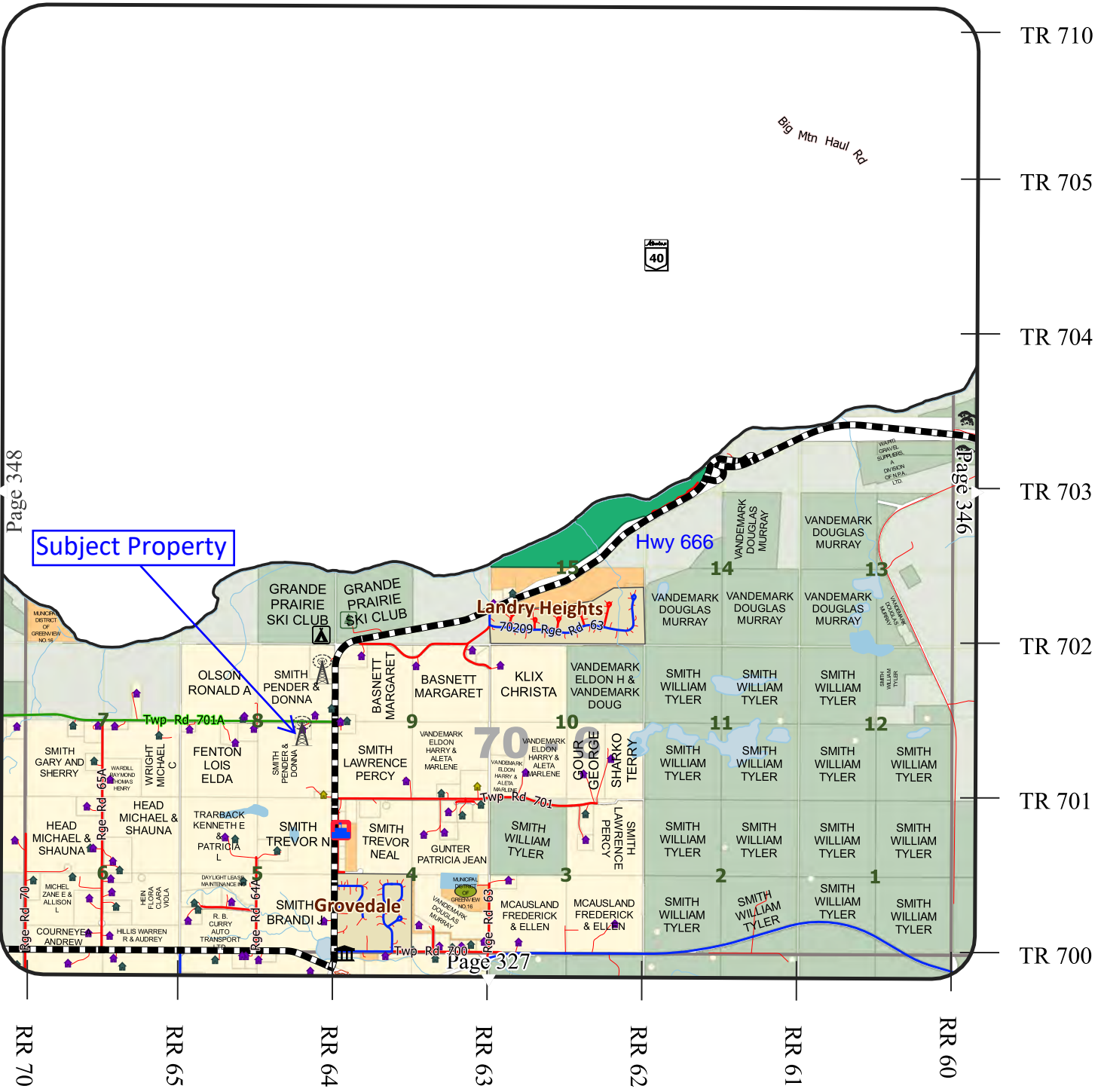
**APPLICANT: DWIGHT & SHALON STEENHART**

**LEGAL LOCATION: SW-08-070-06-W6M**

**LANDOWNER: DWIGHT & SHALON STEENHART**



# M.D. of Greenview No.16



Map printed: 2021-12-30

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